



**DESIGN & CONSTRUCTION GROUP  
THE GOVERNOR NELSON A. ROCKEFELLER  
EMPIRE STATE PLAZA  
ALBANY, NY 12242**

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**ADDENDUM NO. 1 TO PROJECT NO. 47599**

**CONSTRUCTION WORK  
REPAIR ROOF  
STATEN ISLAND ARMORY  
321 MANOR ROAD  
STATEN ISLAND, NY**

August 13, 2024

**NOTE:** This Addendum forms a part of the Contract Documents. Insert it in the Project Manual. Acknowledge receipt of this Addendum in the space provided on the Bid Form.

**GENERAL REQUIREMENTS**

1. Page 011000 - 1:
  - a. Paragraph 1.02 A, Change paragraph to read:

“Substantially complete the Work within 402 days after the Agreement is approved by the Comptroller.”
  - b. Paragraph 1.02 A 3, Change paragraph to read:

“If Alternate #1 is awarded, then Substantially complete the Work within 423 days after the Agreement is approved by the Comptroller.”

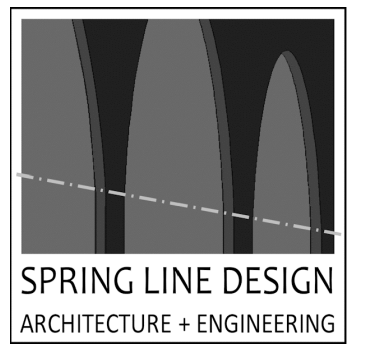
**CONSTRUCTION WORK DRAWINGS**

2. Revised Drawings:
  - a. Drawing Nos. S-101, A-001, A-010, A-101, A-102, A-501, A-502, A-503, A-504, A-505, and A-506 noted “REVISED DRAWING 08/07/2024”, accompany this Addendum and supersede the same numbered originally issued drawings.

**END OF ADDENDUM**

Brady M. Sherlock, P.E.  
Director, Division of Design  
Design & Construction

CONSULTANT  
CERTIFICATE OF AUTHORIZATION No.: 0019551



**ENERGY CODE STATEMENT:**

TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CODE.

**UNIFORM CODE STATEMENT:**

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**WARNING:**

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**CONSTRUCTION**

TITLE: REPAIR ROOF STATE ARMORY

LOCATION: BUILDING No. 71  
321 MANOR ROAD  
STATEN ISLAND, NY

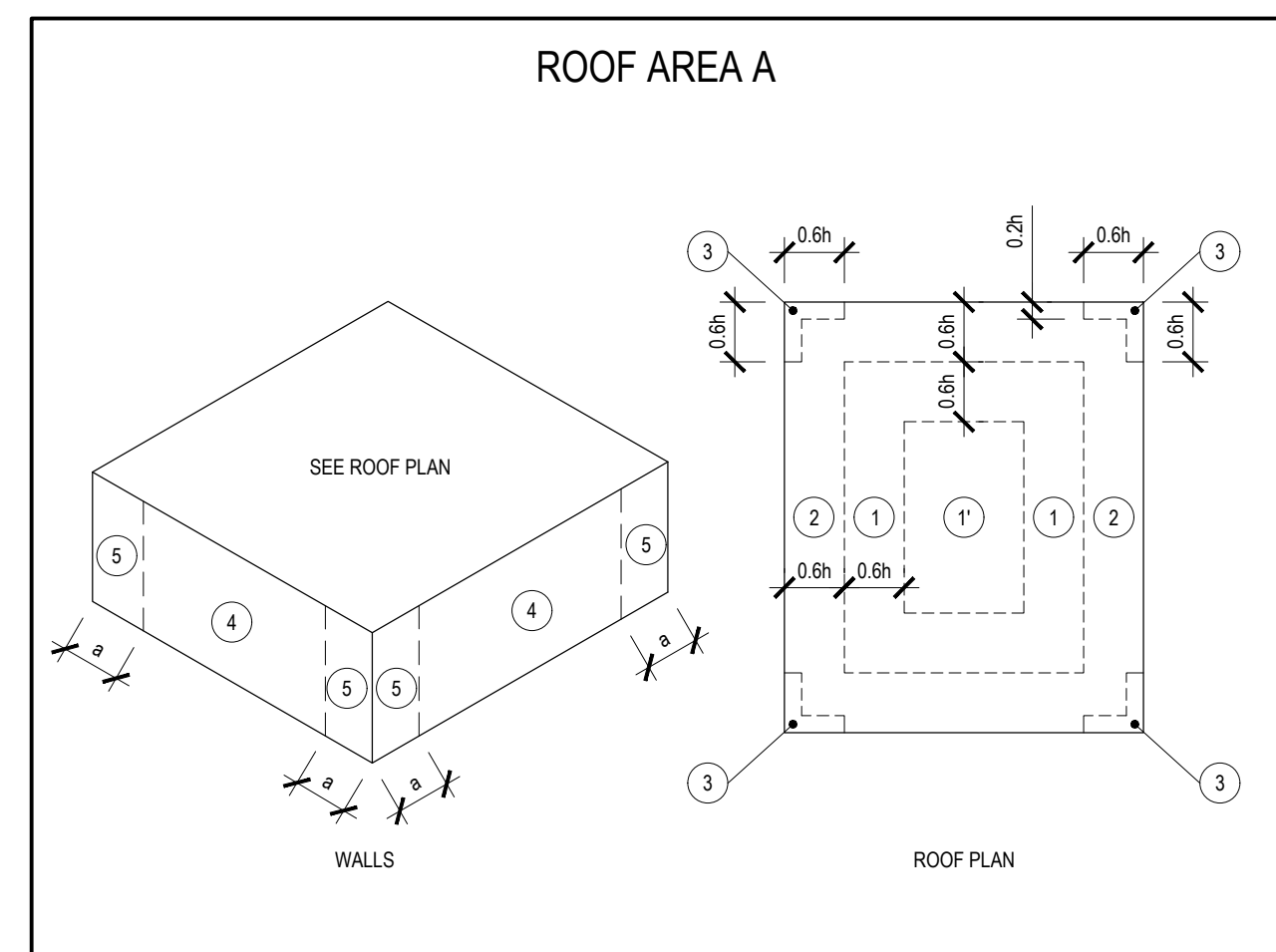
CLIENT: DIVISION OF MILITARY AND NAVAL AFFAIRS

REVISED DRAWING 08/07/2024

MARK	DATE	DESCRIPTION
△	08/07/2024	ADDENDUM 1
	05/24/2024	BID DOCUMENT
PROJECT NUMBER: 47599 - C		
DESIGNED BY: KK		
DRAWN BY: SS		
FIELD CHECK:		
APPROVED:		
SHEET TITLE:		

ROOF WIND UPLIFT PLANS AND PARTIAL STRUCTURAL REFLECTED CEILING PLAN

DRAWING NUMBER: **S-101**

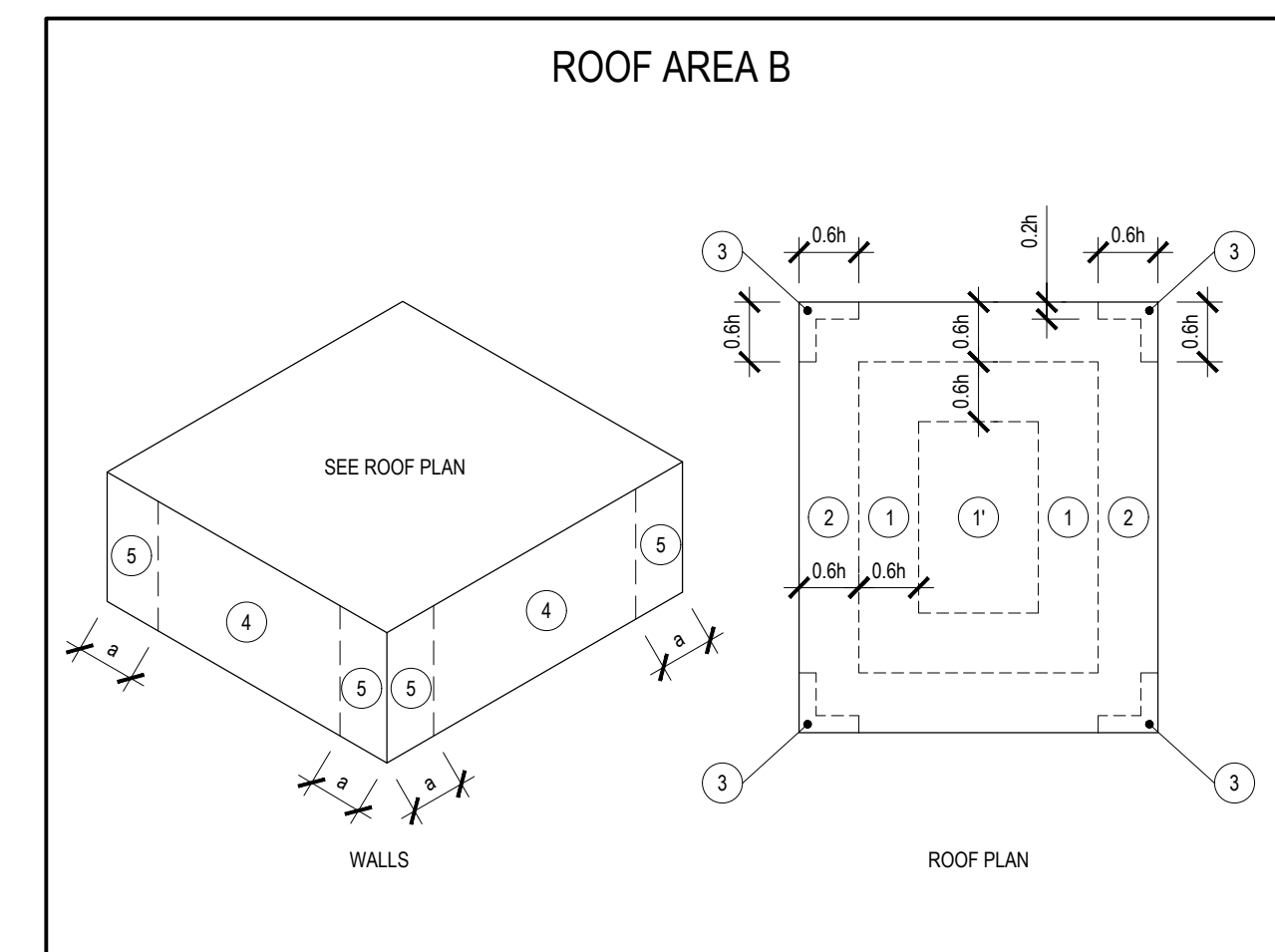


**COMPONENTS AND CLADDING WIND PRESSURES (ASCE 7-16)**

DISTANCE 'a' = 20 FT DISTANCE 'b' = 33 FT DISTANCE '0.6h' = 20 FT EFFECTIVE WIND AREA = 10 SF

ZONE	LRFD WIND PRESSURE	ASD WIND PRESSURE
A-1	-69 PSF	-41 PSF
A-1'	-40 PSF	-24 PSF
A-2	-91 PSF	-55 PSF
A-3	-124 PSF	-74 PSF

NOTES:  
1. VALUES ARE CALCULATED ACCORDING TO ASCE 7-16 C&C PART 1 FOR BUILDING HEIGHT h ≤ 60 FT.  
FLAT ROOF (SLOPE θ ≤ 3°)

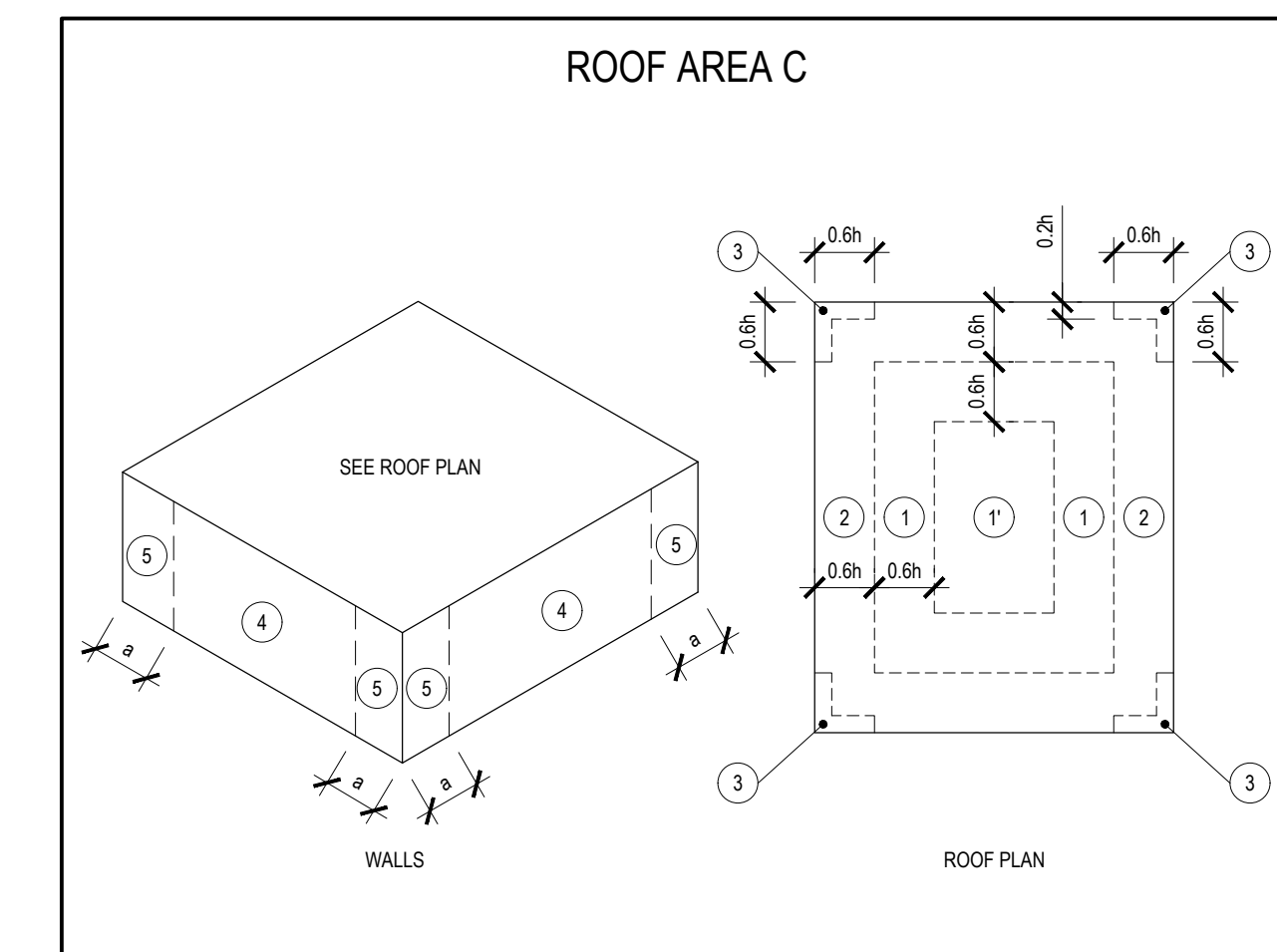


**COMPONENTS AND CLADDING WIND PRESSURES (ASCE 7-16)**

DISTANCE 'a' = 12 FT DISTANCE 'b' = 20 FT DISTANCE '0.6h' = 12 FT EFFECTIVE WIND AREA = 10 SF

ZONE	LRFD WIND PRESSURE	ASD WIND PRESSURE
B-1	-62 PSF	-37 PSF
B-1'	-36 PSF	-21 PSF
B-2	-82 PSF	-49 PSF
B-3	-112 PSF	-67 PSF

NOTES:  
1. VALUES ARE CALCULATED ACCORDING TO ASCE 7-16 C&C PART 1 FOR BUILDING HEIGHT h ≤ 60 FT.  
FLAT ROOF (SLOPE θ ≤ 3°)

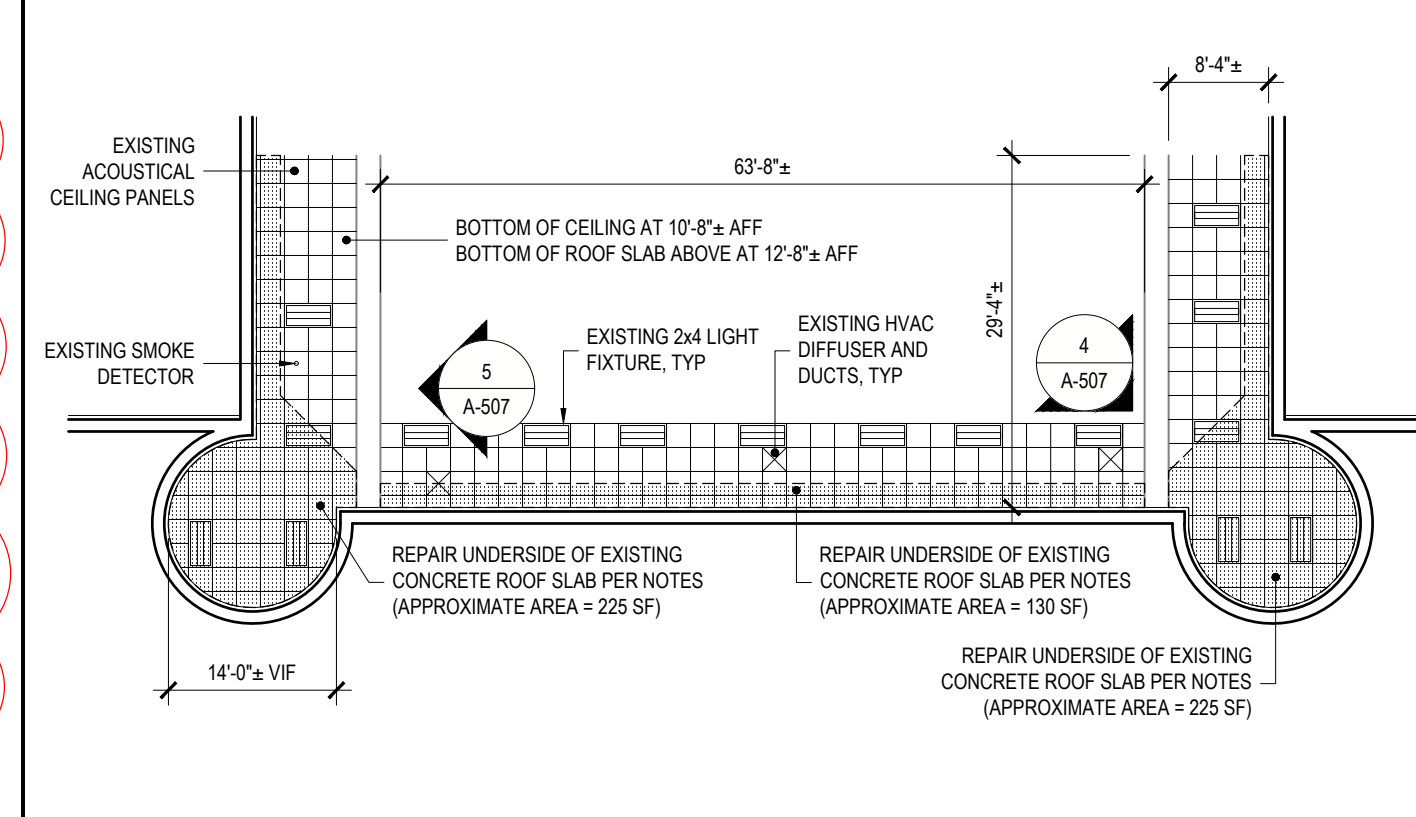


**COMPONENTS AND CLADDING WIND PRESSURES (ASCE 7-16)**

DISTANCE 'a' = 12 FT DISTANCE 'b' = 20 FT DISTANCE '0.6h' = 12 FT EFFECTIVE WIND AREA = 10 SF

ZONE	LRFD WIND PRESSURE	ASD WIND PRESSURE
C-1	-62 PSF	-37 PSF
C-1'	-36 PSF	-21 PSF
C-2	-82 PSF	-49 PSF
C-3	-112 PSF	-67 PSF

NOTES:  
1. VALUES ARE CALCULATED ACCORDING TO ASCE 7-16 C&C PART 1 FOR BUILDING HEIGHT h ≤ 60 FT.  
FLAT ROOF (SLOPE θ ≤ 3°)



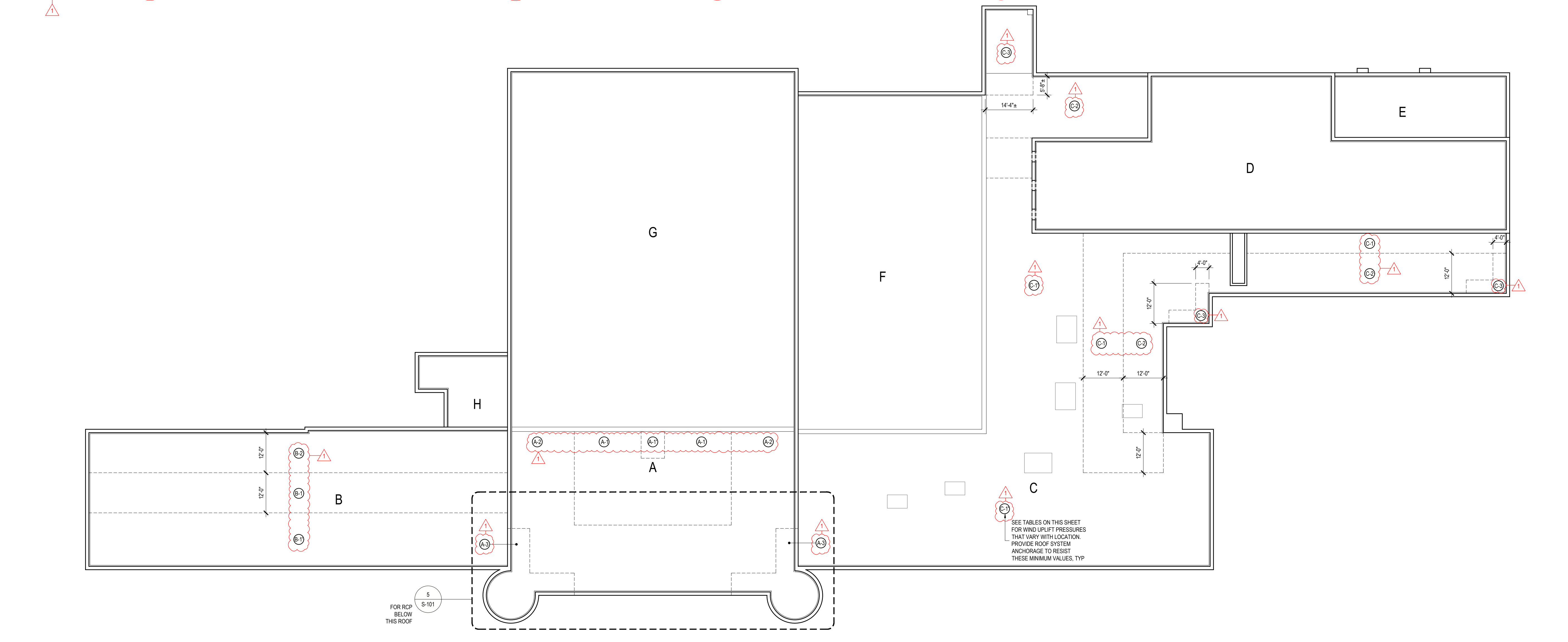
- LEGEND:**
- GYPSUM WALL BOARD SOFFIT
  - 3/4" x 4" LUMINAIRE
  - SUSPENDED CEILING SYSTEM AND ORIGINAL PLASTER CEILING ABOVE
  - HVAC DIFFUSER
  - SMOKE DETECTOR
  - ROOF SLAB REPAIR
- REPAIR NOTES FOR UNDERSIDE OF EXISTING ROOF SLAB:**
- REMOVE AND REPLACE EXISTING SUSPENDED CEILING GRID AND ACOUSTICAL PANELS PER DETAILS S-8A-S-8I AND S-10A-S-10I.
  - PROVIDE 250 SF ACOUSTIC CEILING PANELS TO REPLACE DAMAGED OR DETERIORATED PANELS.
  - REMOVE AND REINSTALL EXISTING LIGHT FIXTURES.
  - REMOVE AND REINSTALL EXISTING HVAC DUCTS AND DIFFUSERS.
  - REMOVE AND REINSTALL SMOKE / HEAT DETECTORS.
  - NOTE THAT NOT ALL ITEMS REQUIRING REMOVAL AND REINSTALLATION ARE SHOWN ON THE PLAN. REMOVE AND REINSTALL ALL EQUIPMENT NECESSARY TO COMPLETE THE WORK IN THE AREAS SHOWN. SEE PHOTOS A-507 AND S-1007.
  - REMOVE EXISTING ORIGINAL SUSPENDED PLASTER CEILING SYSTEM AND BLACK IRON SUPPORTS AND ANCHORS ABOVE EXISTING SUSPENDED CEILING (APPROXIMATELY 8 INCHES BELOW BOTTOM OF EXISTING CONCRETE ROOF SLAB).
  - PROVIDE SUPPLEMENTAL SUPPORTS, SIMILAR TO EXISTING SUPPORTS, ALONG CUT EDGES OF BLACK IRON PLASTER SUPPORT SYSTEM.
  - REMOVE EXISTING DETERIORATED CONCRETE FROM UNDERSIDE OF EXISTING ROOF SLAB TO AN AVERAGE DEPTH OF 3".
  - PATCH UNDERSIDE OF EXISTING CONCRETE ROOF DECK. SEE CONCRETE PATCHING NOTES AND DETAILS ON DRAWING S-102.
  - REINSTALL MEP SYSTEMS.
  - COORDINATE ALL HVAC EQUIPMENT AND SYSTEMS SHUTDOWNS WITH DIRECTOR'S REPRESENTATIVE. DO NOT SHUTDOWN OR REMOVE ANY HVAC EQUIPMENT WITHOUT THE DIRECTOR'S REPRESENTATIVE'S PERMISSION.
  - BALANCE ALL REINSTALLED HVAC EQUIPMENT AND SYSTEMS THE EQUIPMENT IMPACT.
  - COORDINATE ALL POWER INTERRUPTION WITH DIRECTOR'S REPRESENTATIVE. DO NOT INTERRUPT POWER WITHOUT DIRECTOR'S REPRESENTATIVE'S PERMISSION.

2 WIND UPLIFT PRESSURES FOR ROOF AREA A  
REF: SCALE: NONE

3 WIND UPLIFT PRESSURES FOR ROOF AREA B  
REF: SCALE: NONE

4 WIND UPLIFT PRESSURES FOR ROOF AREA C  
REF: SCALE: NONE

5 SECOND FLOOR PARTIAL RCP  
REF: 1/S-101 SCALE: 1/16" = 1'-0"

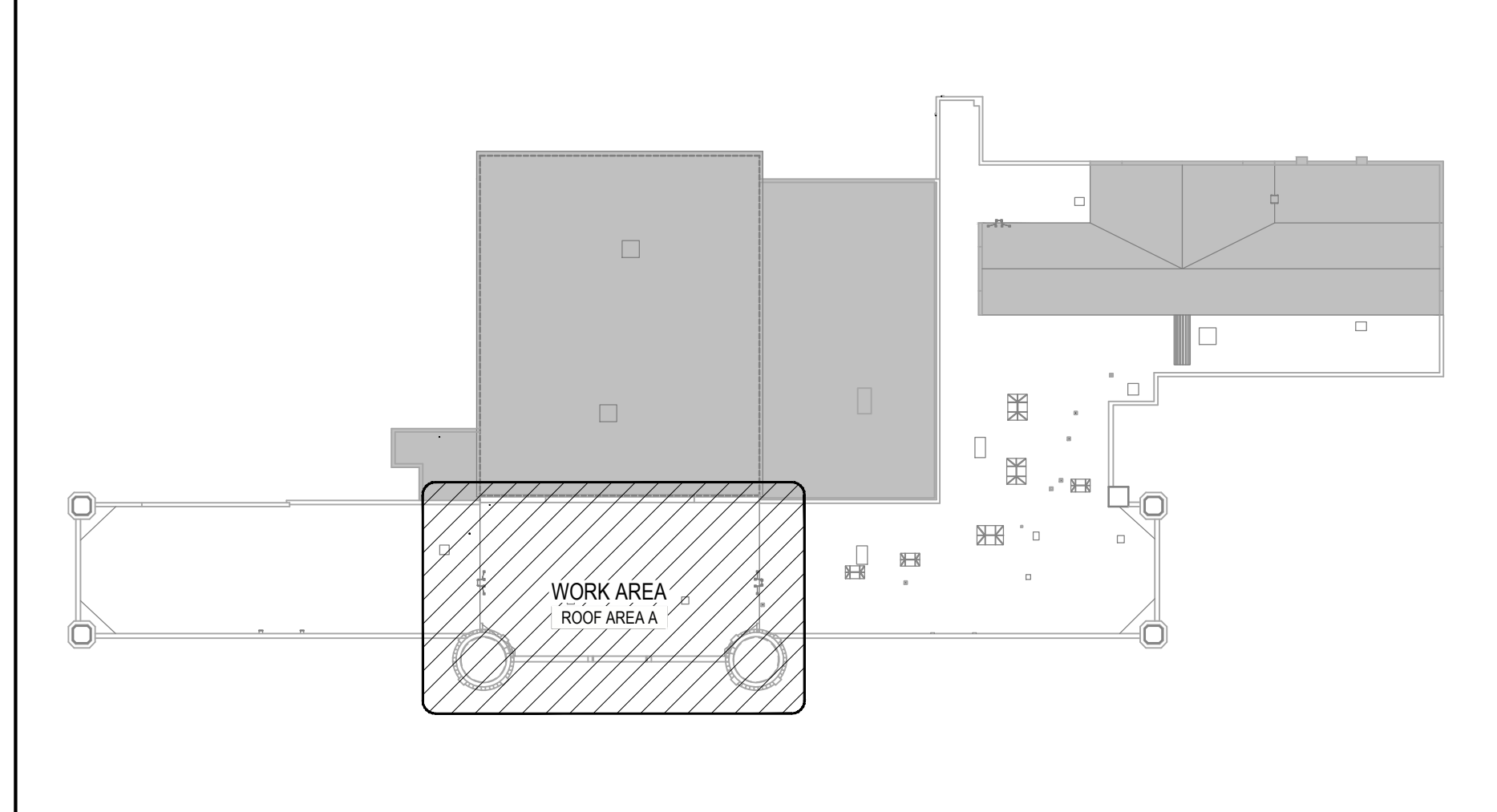


1 ROOF STRUCTURE PLAN  
REF: SCALE: 1/16" = 1'-0"





**5 LOUVERED PENTHOUSE**  
REF: 1/A-010 SCALE: NTS



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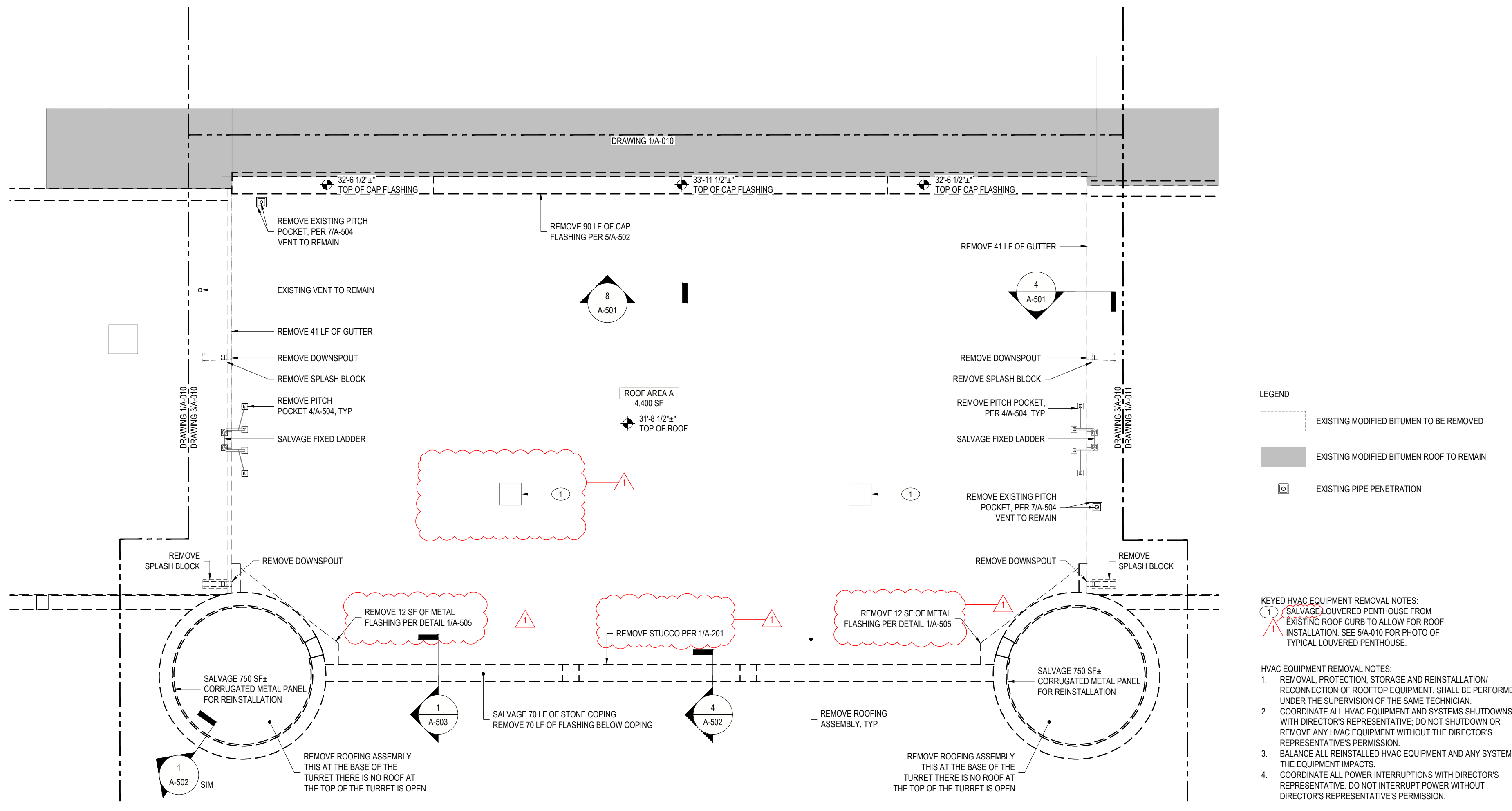


**CONSTRUCTION**  
TITLE: REPAIR ROOF STATE ARMY  
LOCATION: BUILDING No. 71  
321 MANOR ROAD  
STATEN ISLAND, NY  
CLIENT: DIVISION OF MILITARY AND NAVAL AFFAIRS

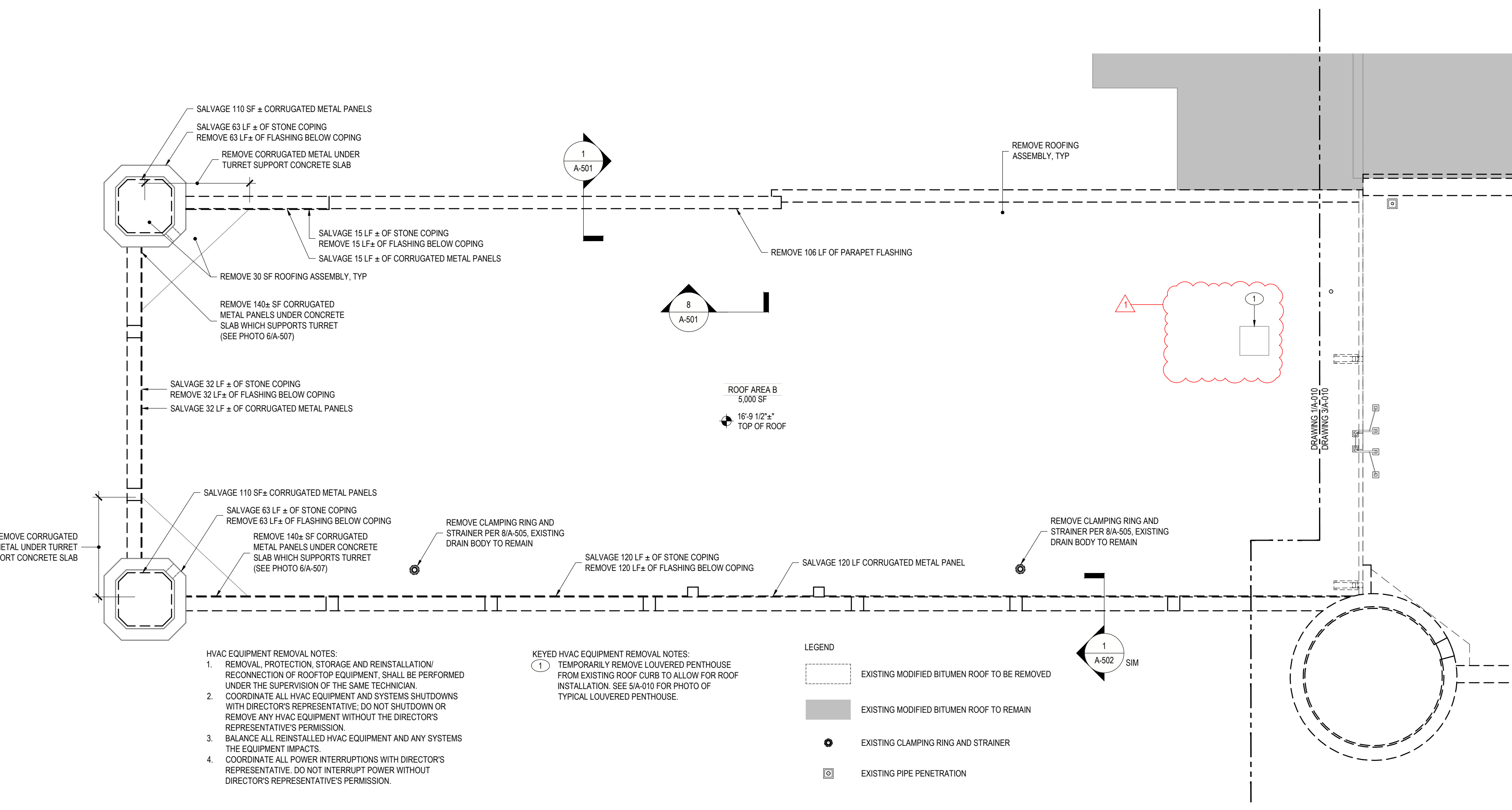
**REVISED DRAWING 08/07/2024**

MARK	DATE	DESCRIPTION
△	08/07/2024	ADDENDUM 1
	05/24/2024	BID DOCUMENT

PROJECT NUMBER: **47599 - C**  
DESIGNED BY: KK  
DRAWN BY: SS  
FIELD CHECK:  
APPROVED:  
SHEET TITLE: **PARTIAL ROOF REMOVAL PLANS**  
DRAWING NUMBER: **A-010**  
SHEET 6 OF 20

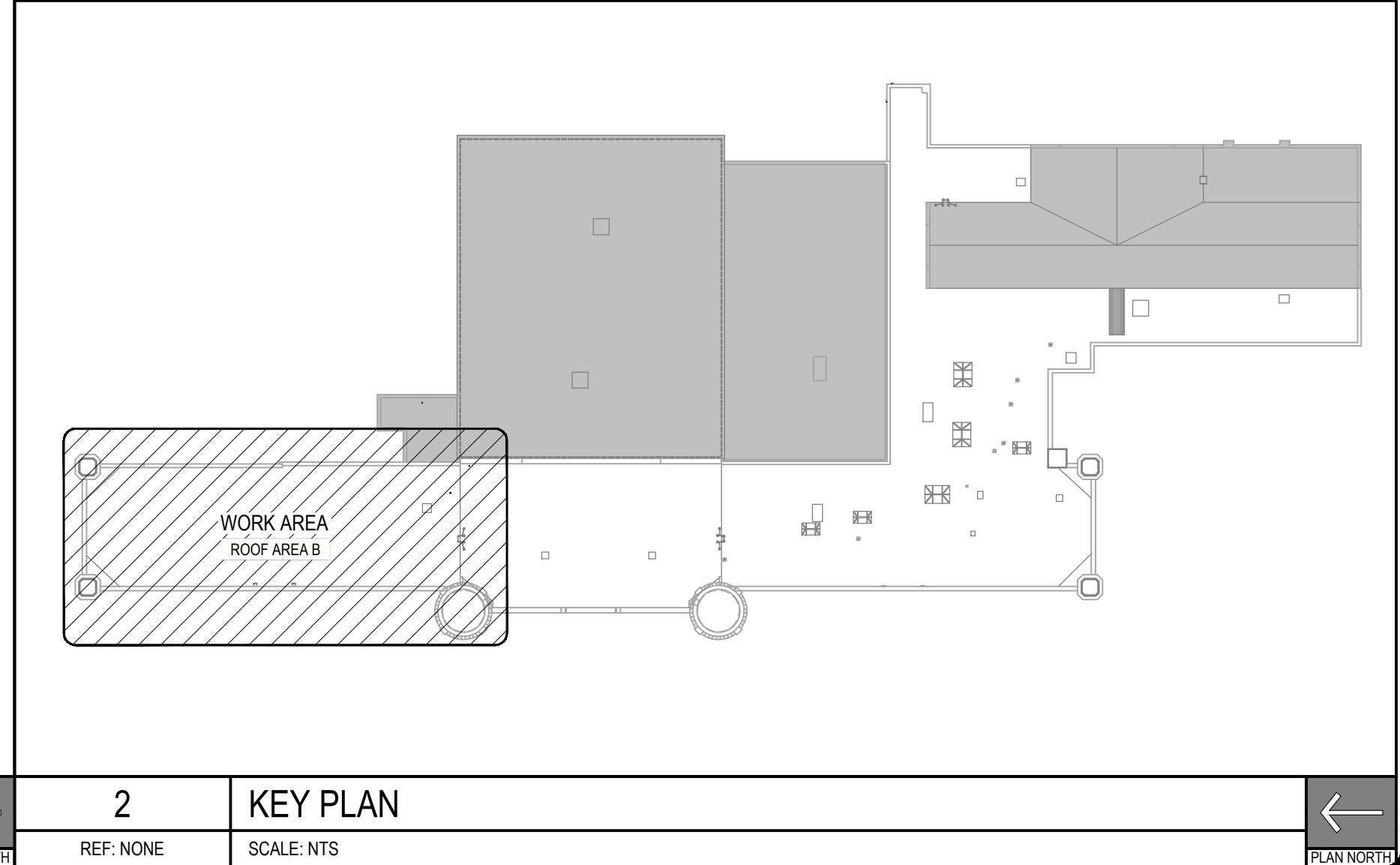
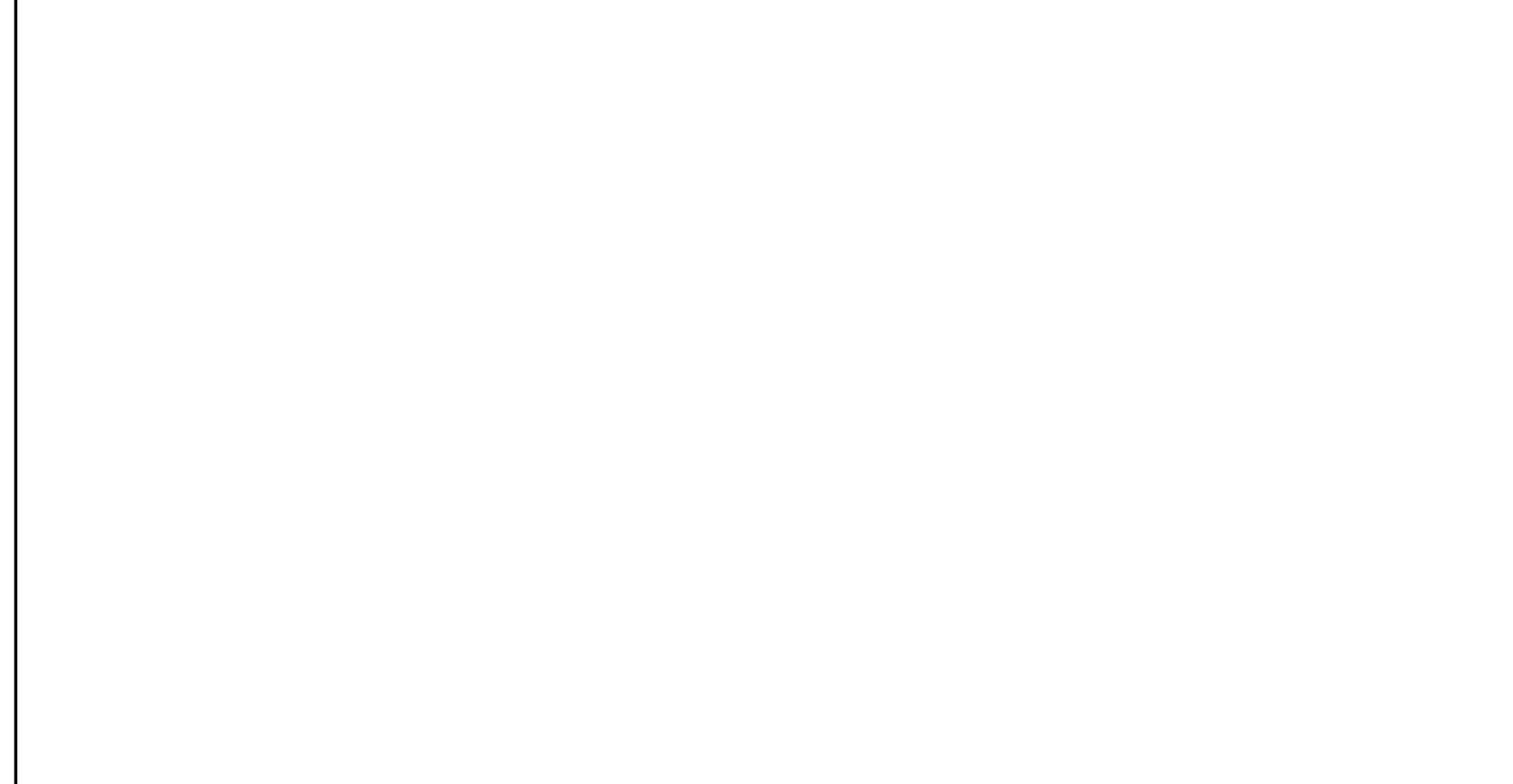


**3 ROOF AREA A REMOVAL PLAN**  
REF: 4/A-010 SCALE: 1/8" = 1'-0"




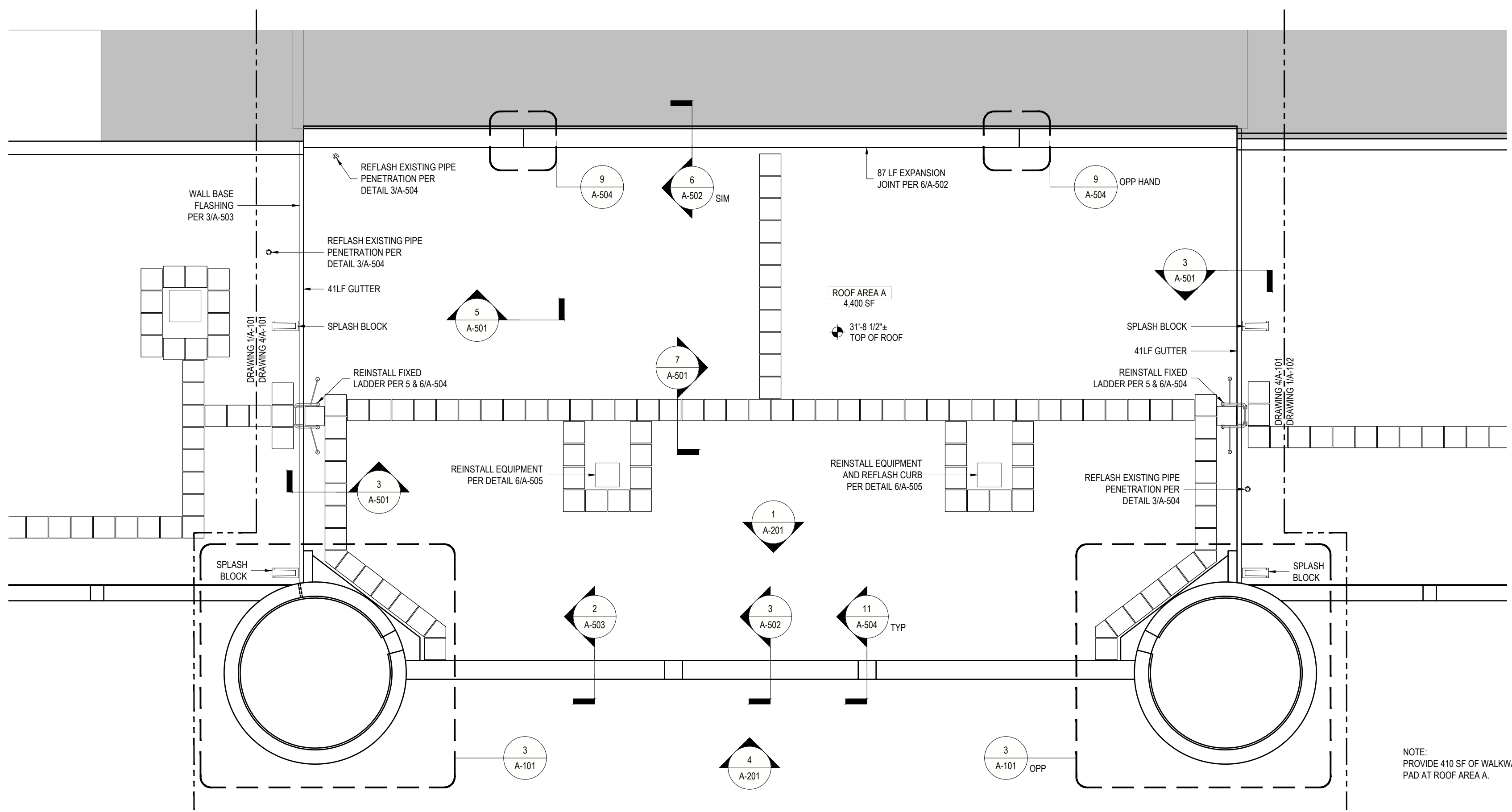
**1 ROOF AREA B REMOVAL PLAN**  
REF: 2/A-010 SCALE: 1/8" = 1'-0"

**4 KEY PLAN**  
REF: NONE SCALE: NTS



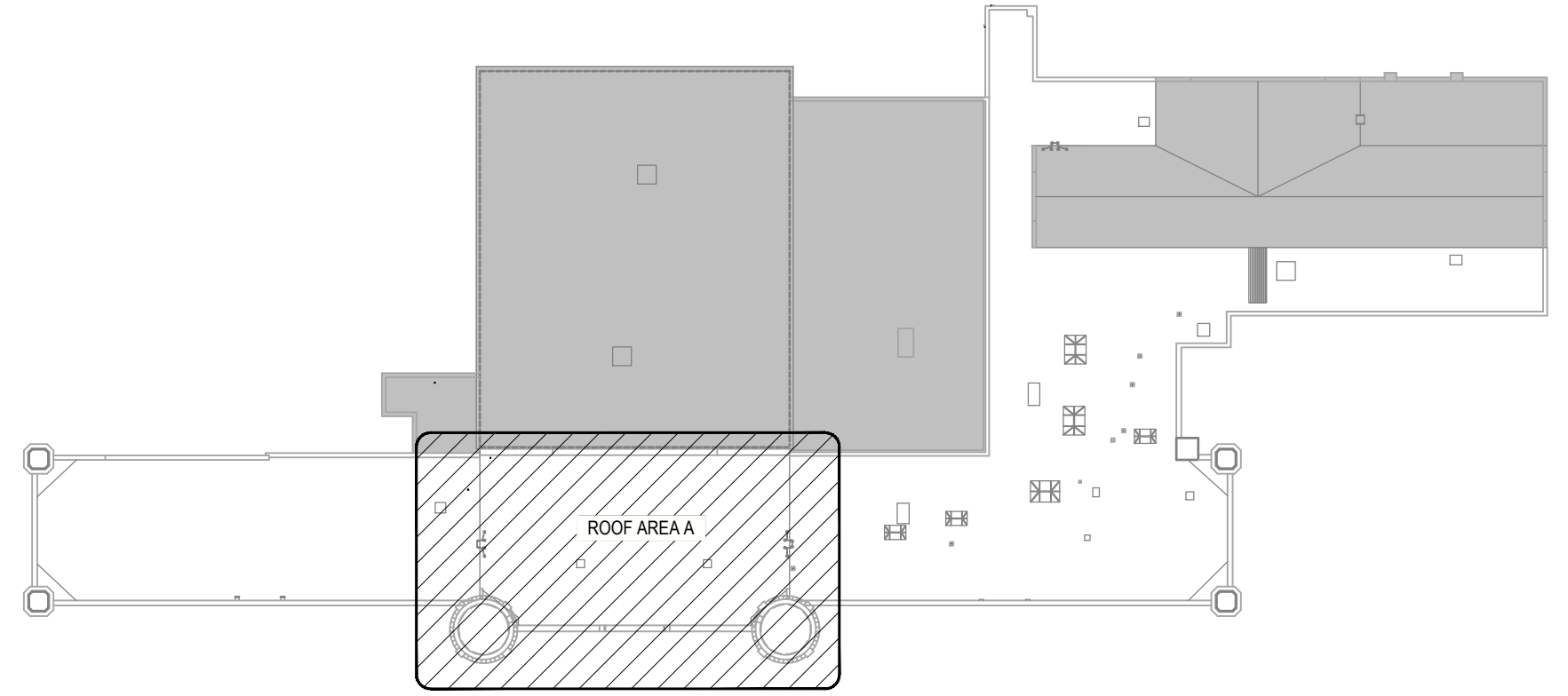
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REGISTRATION EXPIRES: 12/31/2026



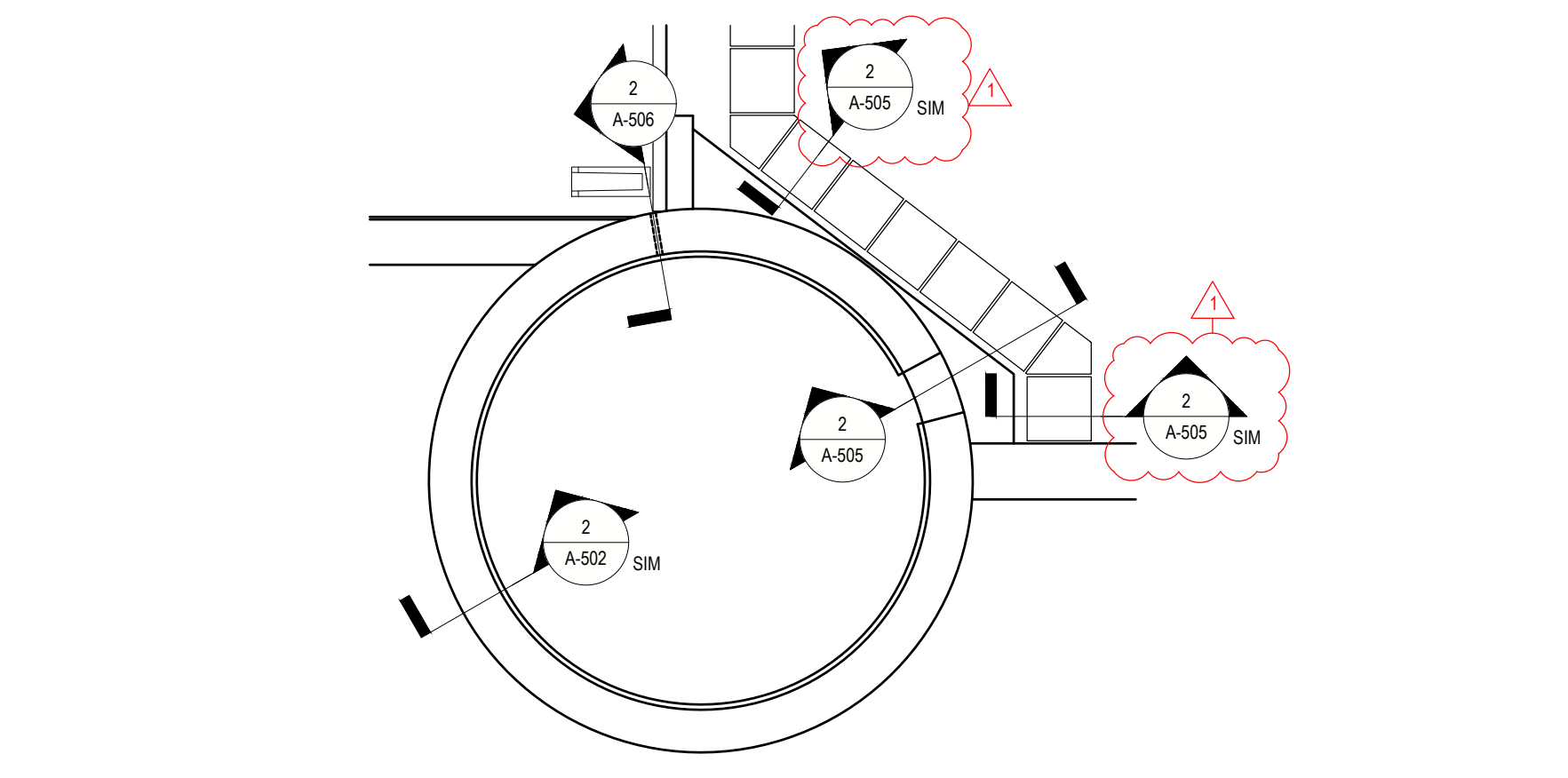
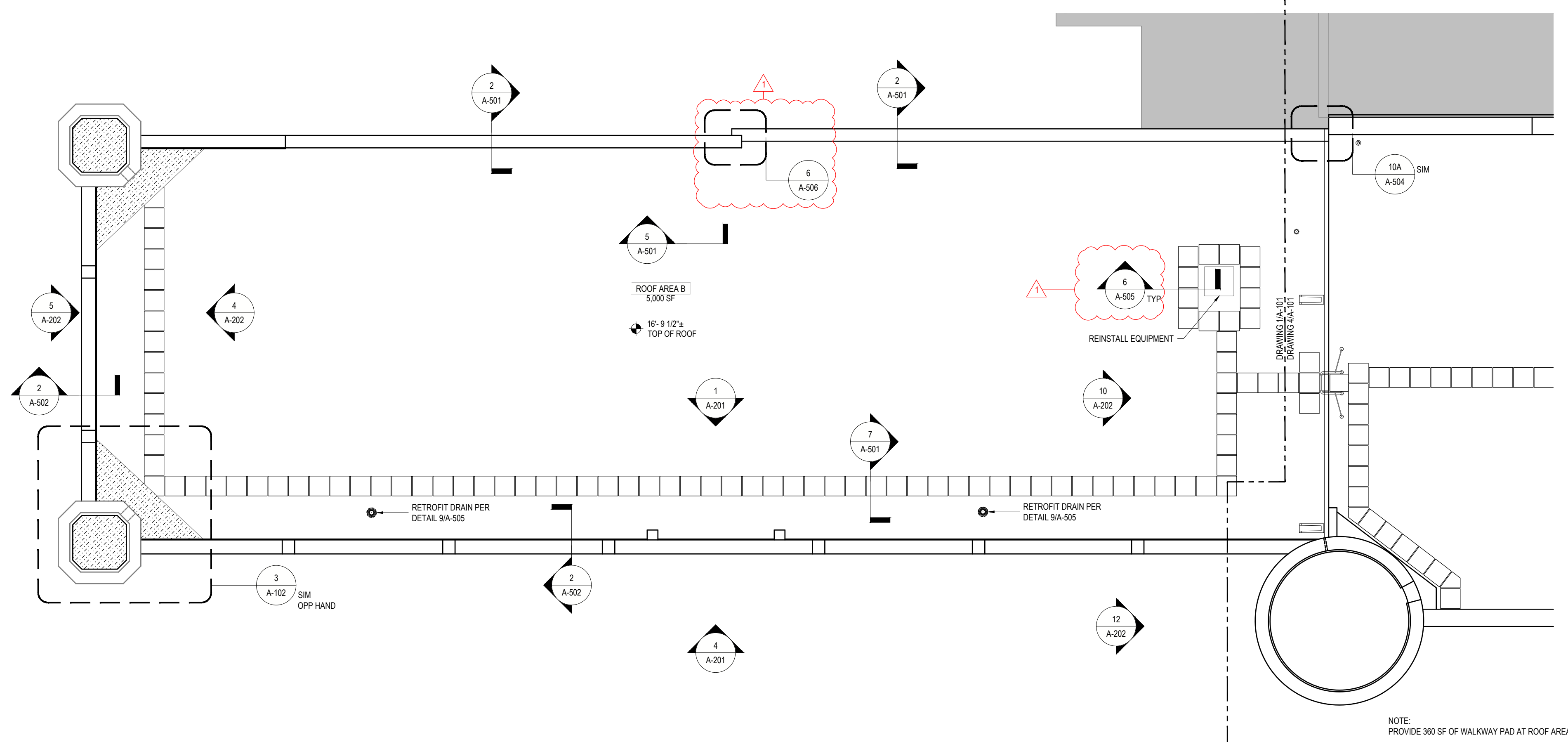
- LEGEND
- 24x24 WALKWAY PAD
  - ROOF DRAIN
  - REFRESH EXISTING PIPE PER DETAIL 3/A-504

HVAC EQUIPMENT REINSTALLATION NOTES:  
1. REINSTALL EXISTING LOUVERED PENTHOUSE. SECURELY ATTACH LOUVERED PENTHOUSE TO WOOD NAILER ON ROOF CURB WITH CADMIUM PLATED FASTENERS.  
2. REINSTALL EXISTING EXHAUST FAN. SECURELY ATTACH EXHAUST FAN TO WOOD NAILER ON ROOF CURB WITH CADMIUM PLATED FASTENERS. RECONNECT ELECTRICAL POWER TO EXHAUST FAN.  
3. REINSTALL EXISTING CONDENSING UNIT ON EXISTING EQUIPMENT SUPPORT. SECURELY ATTACH CONDENSING UNIT TO EQUIPMENT SUPPORT WITH CADMIUM PLATED FASTENERS. RECONNECT ELECTRICAL POWER TO CONDENSING UNIT. RECONNECT REFRIGERANT PIPING TO CONDENSING UNIT. PROVIDE FULL REFRIGERANT CHARGE TO PIPING SYSTEM AND CONDENSING UNIT PER CONDENSING UNIT MANUFACTURERS REQUIREMENTS.



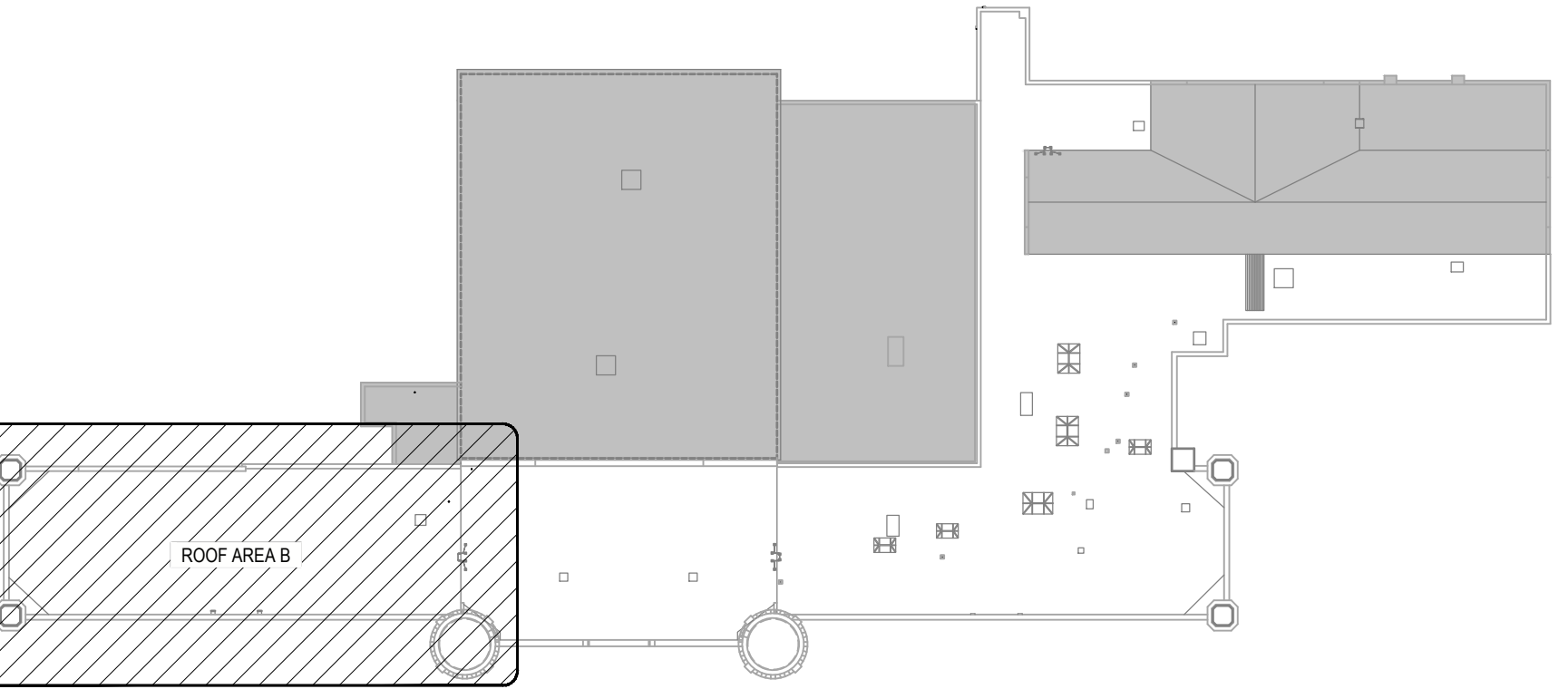
**4 ROOF AREA A PLAN**  
REF: 5/A-101 SCALE: 1/8" = 1'-0"

**5 KEY PLAN**  
REF: NONE SCALE: NTS



**1 ROOF AREA B PLAN**  
REF: 2/A-101 SCALE: 1/8" = 1'-0"

**3 ENLARGED TURRET PLAN**  
REF: 1/A-101 SCALE: 3/16" = 1'-0"



**2 KEY PLAN**  
REF: NONE SCALE: NTS

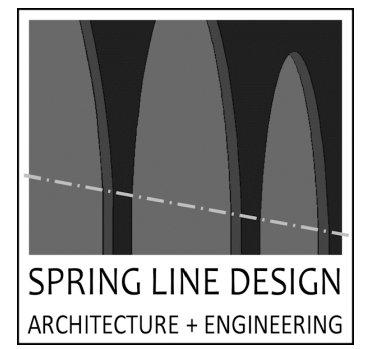
**CONSTRUCTION**  
TITLE: REPAIR ROOF STATE ARMY  
LOCATION: BUILDING No. 71  
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CLIENT: DIVISION OF MILITARY AND NAVAL AFFAIRS

**REVISED DRAWING 08/07/2024**

MARK	DATE	DESCRIPTION
△	08/07/2024	ADDENDUM 1
	05/24/2024	BID DOCUMENT

PROJECT NUMBER: **47599 - C**  
DESIGNED BY: KK  
DRAWN BY: SS  
FIELD CHECK:  
APPROVED:  
SHEET TITLE: **PARTIAL ROOF PLANS**  
DRAWING NUMBER: **A-101**  
SHEET 8 OF 20

CONSULTANT  
CERTIFICATE OF AUTHORIZATION No.: 0019551



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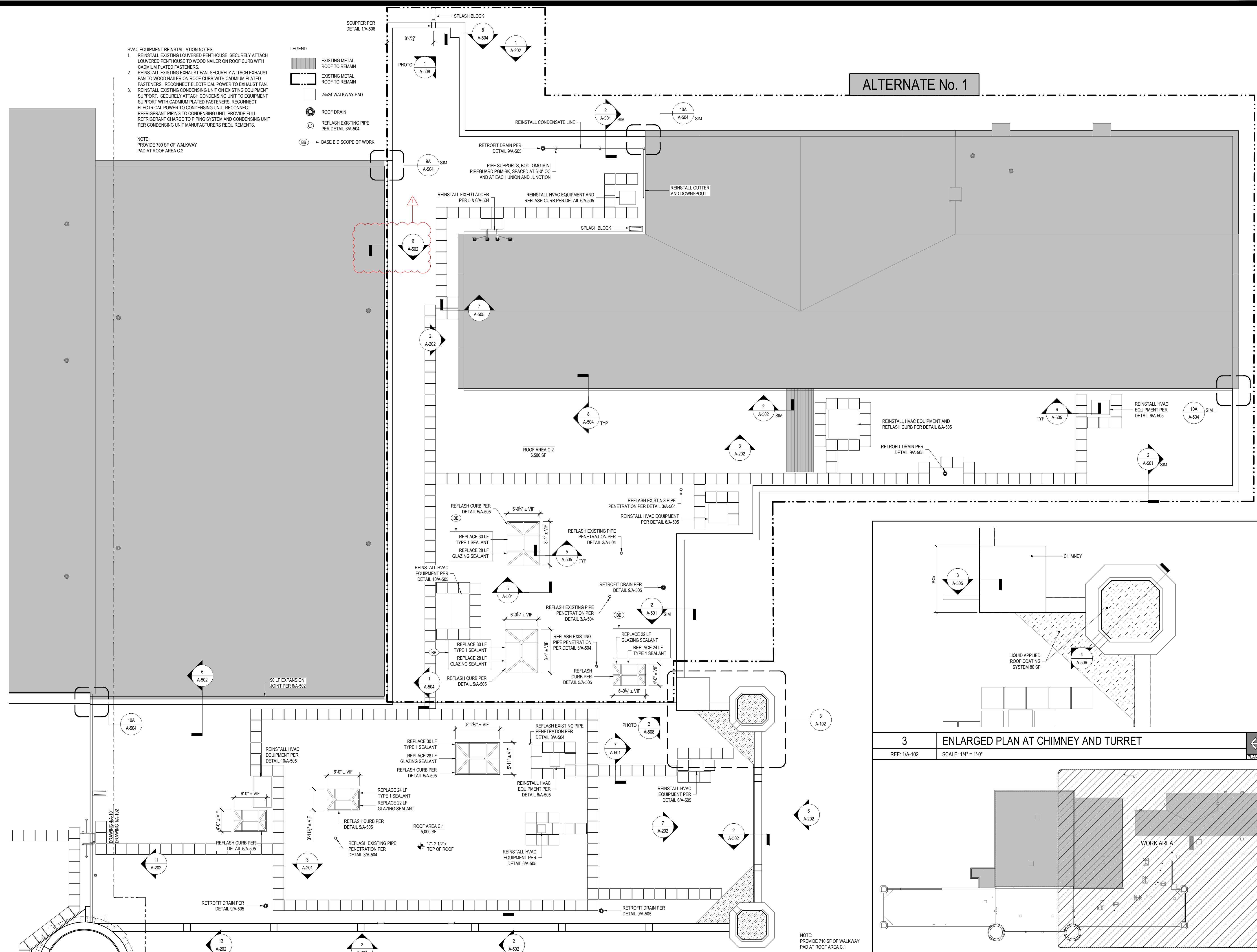
REVISED DRAWING 08/07/2024

MARK	DATE	DESCRIPTION
▲	08/07/2024	ADDENDUM 1
	05/24/2024	BID DOCUMENT
PROJECT NUMBER:	47599 - C	
DESIGNED BY:	KK	
DRAWN BY:	SS	
FIELD CHECK:		
APPROVED:		
SHEET TITLE:	PARTIAL ROOF PLANS	
DRAWING NUMBER:	A-102	
SHEET	9	OF 20

**ALTERNATE No. 1**

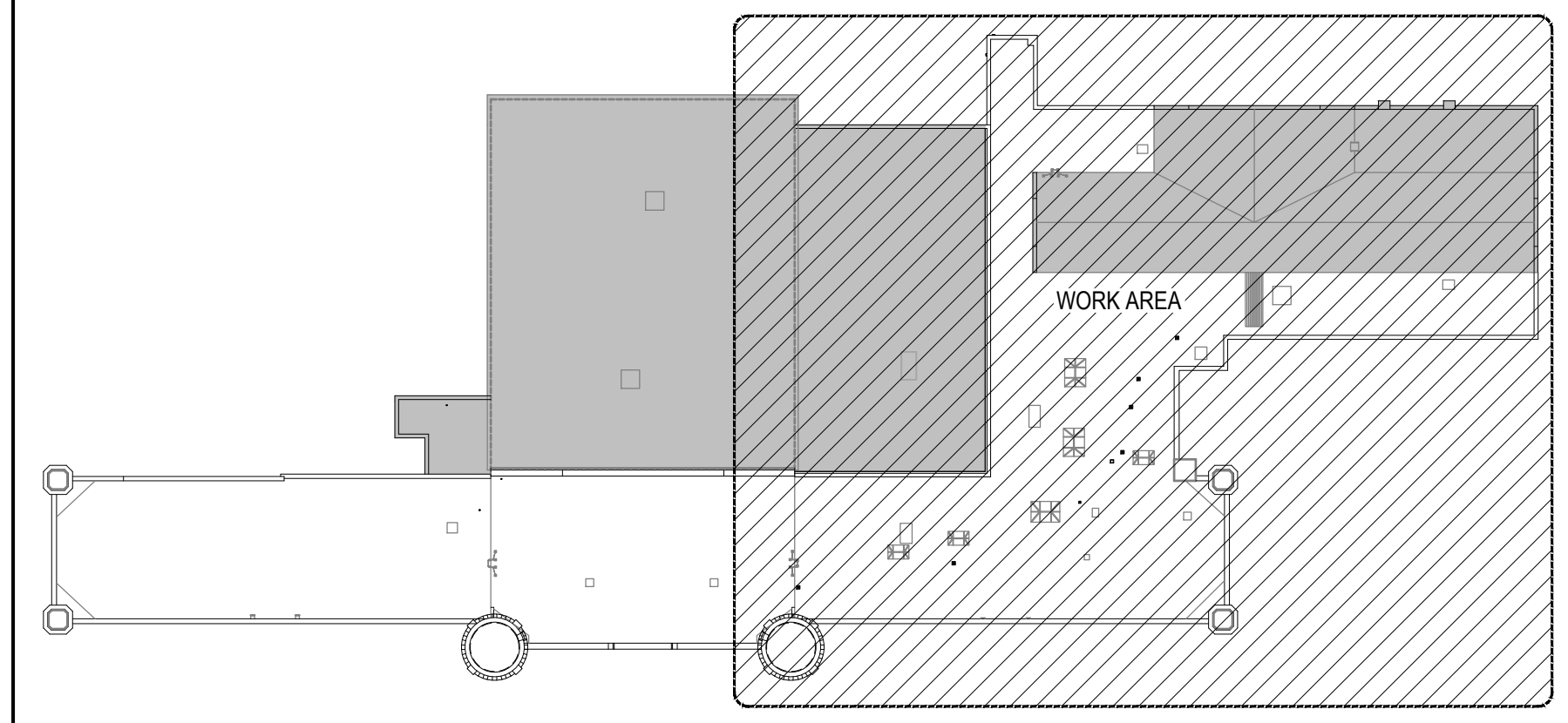
- HVAC EQUIPMENT REINSTALLATION NOTES:**
- REINSTALL EXISTING LOUVERED PENTHOUSE. SECURELY ATTACH LOUVERED PENTHOUSE TO WOOD NAILER ON ROOF CURB WITH CADMIUM PLATED FASTENERS. RECONNECT ELECTRICAL POWER TO EXHAUST FAN.
  - REINSTALL EXISTING EXHAUST FAN. SECURELY ATTACH EXHAUST FAN TO WOOD NAILER ON ROOF CURB WITH CADMIUM PLATED FASTENERS. RECONNECT ELECTRICAL POWER TO EXHAUST FAN.
  - REINSTALL EXISTING CONDENSING UNIT ON EXISTING EQUIPMENT SUPPORT. SECURELY ATTACH CONDENSING UNIT TO EQUIPMENT SUPPORT WITH CADMIUM PLATED FASTENERS. RECONNECT ELECTRICAL POWER TO CONDENSING UNIT. RECONNECT REFRIGERANT PIPING TO CONDENSING UNIT. PROVIDE FULL REFRIGERANT CHARGE TO PIPING SYSTEM AND CONDENSING UNIT PER CONDENSING UNIT MANUFACTURERS REQUIREMENTS.
- NOTE:**  
PROVIDE 700 SF OF WALKWAY PAD AT ROOF AREA C.2

- LEGEND**
- EXISTING METAL ROOF TO REMAIN
  - EXISTING METAL ROOF TO REMAIN
  - 24x24 WALKWAY PAD
  - ROOF DRAIN
  - REFLASH EXISTING PIPE PER DETAIL 3/A-504
  - BASE BID SCOPE OF WORK



**1 ROOF AREA C PLAN**  
REF: 2/A-102 SCALE: 1/8" = 1'-0"

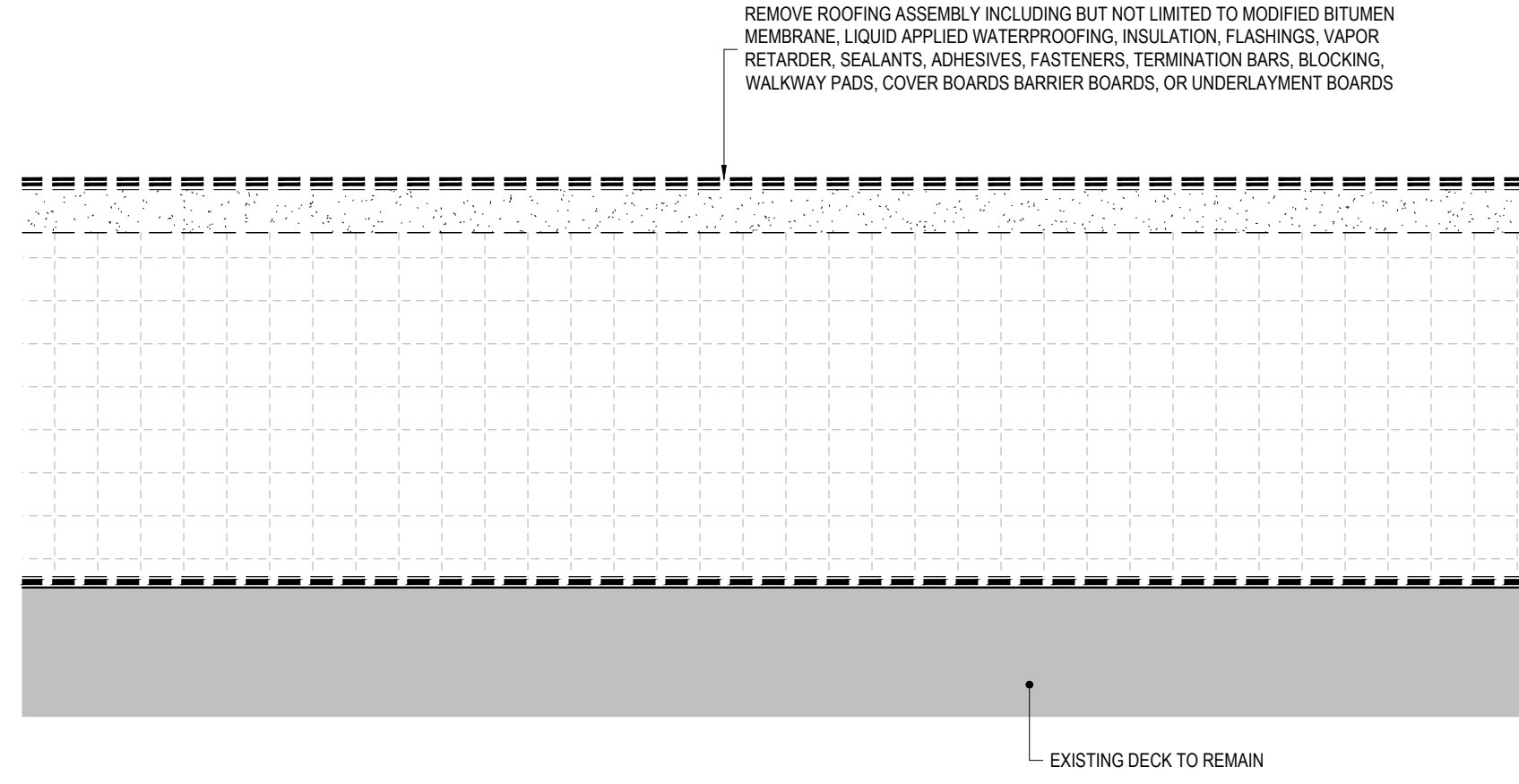
**3 ENLARGED PLAN AT CHIMNEY AND TURRET**  
REF: 1/A-102 SCALE: 1/4" = 1'-0"



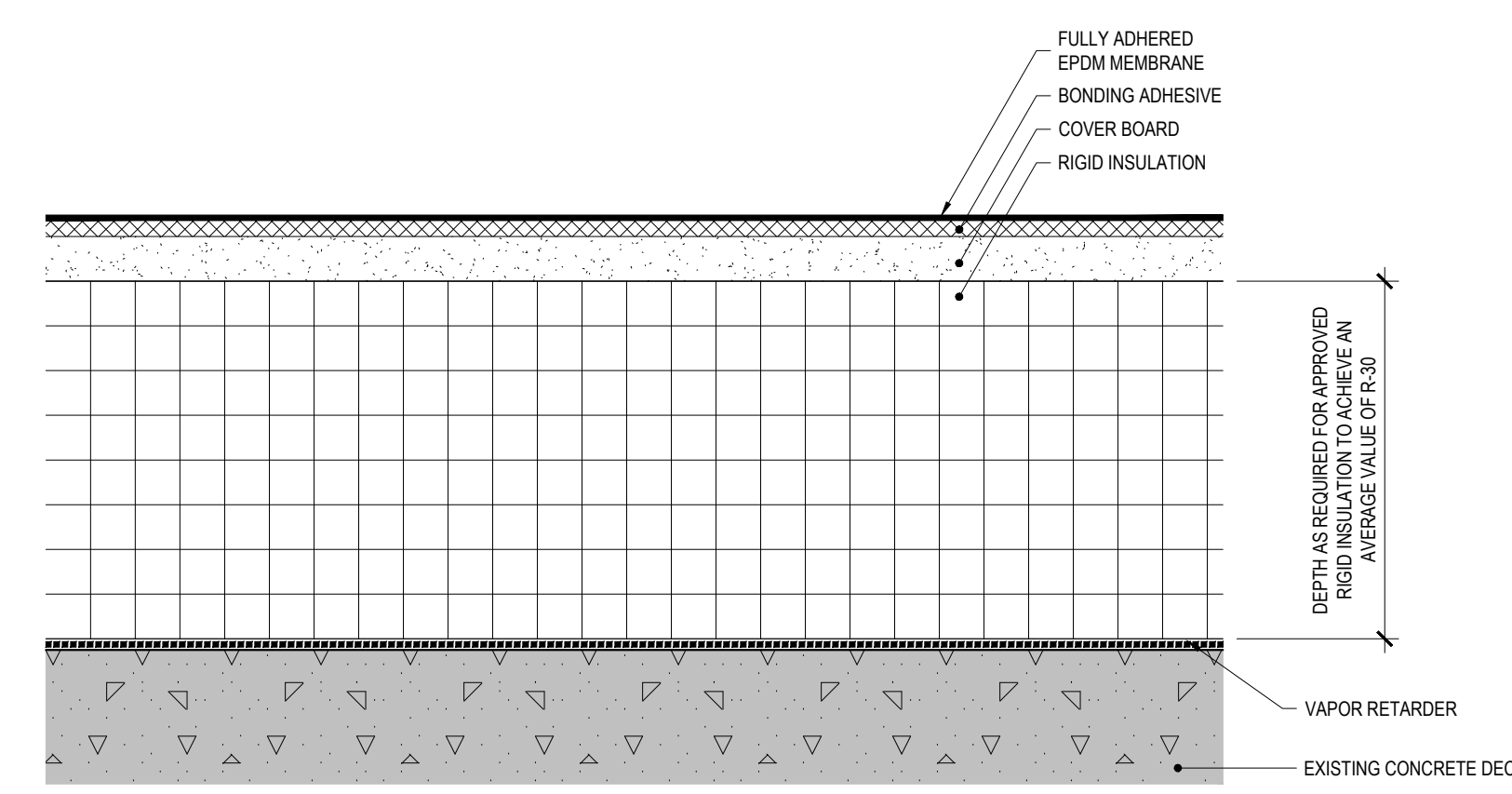
**2 KEY PLAN**  
REF: NONE SCALE: NTS

36x24 PLOT SHEET

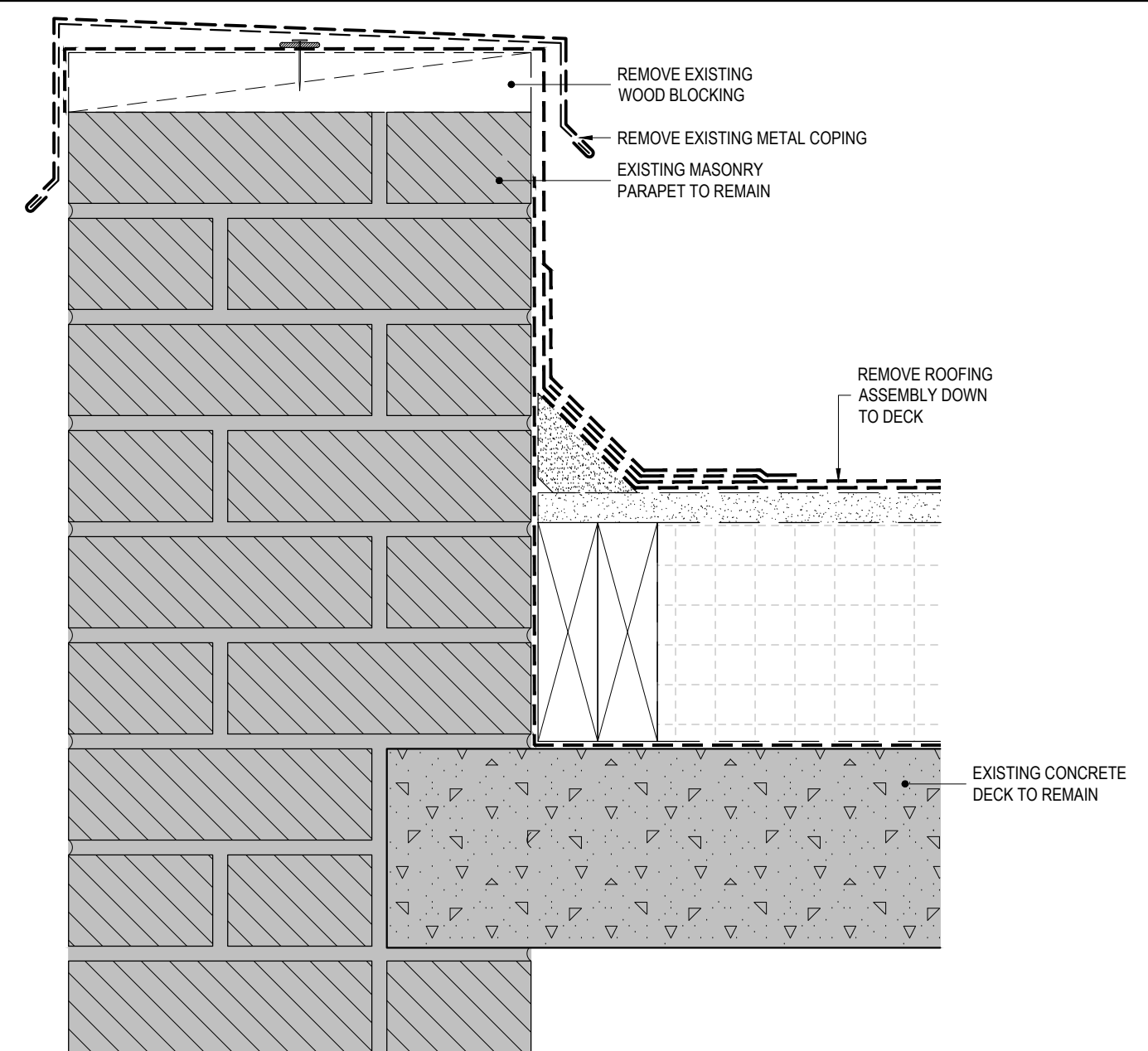
36x24 PLOT SHEET



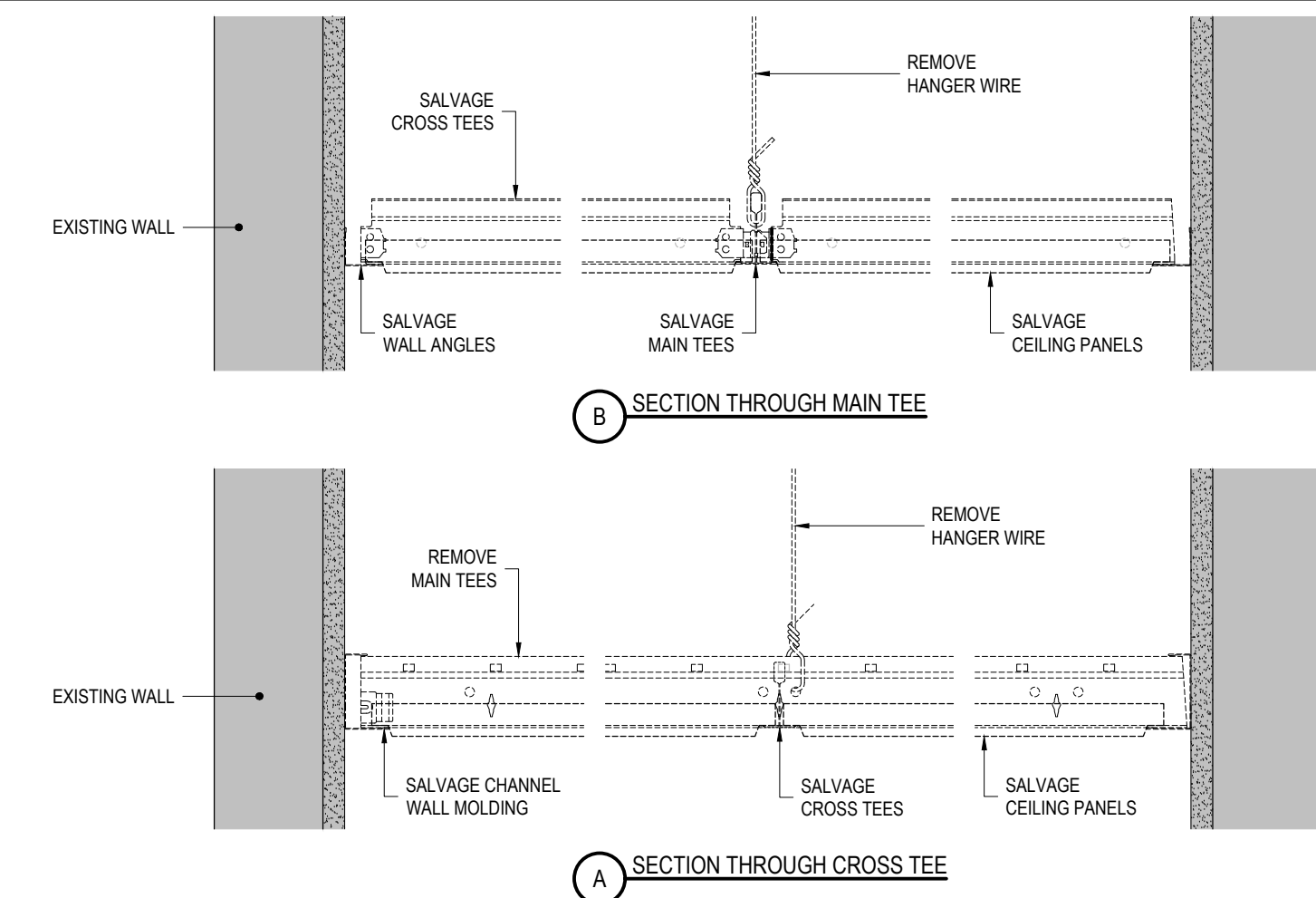
**8** MODIFIED BITUMEN ROOFING ASSEMBLY TYPICAL REMOVALS  
REF: 1/A-010 SCALE: 6" = 1'-0"



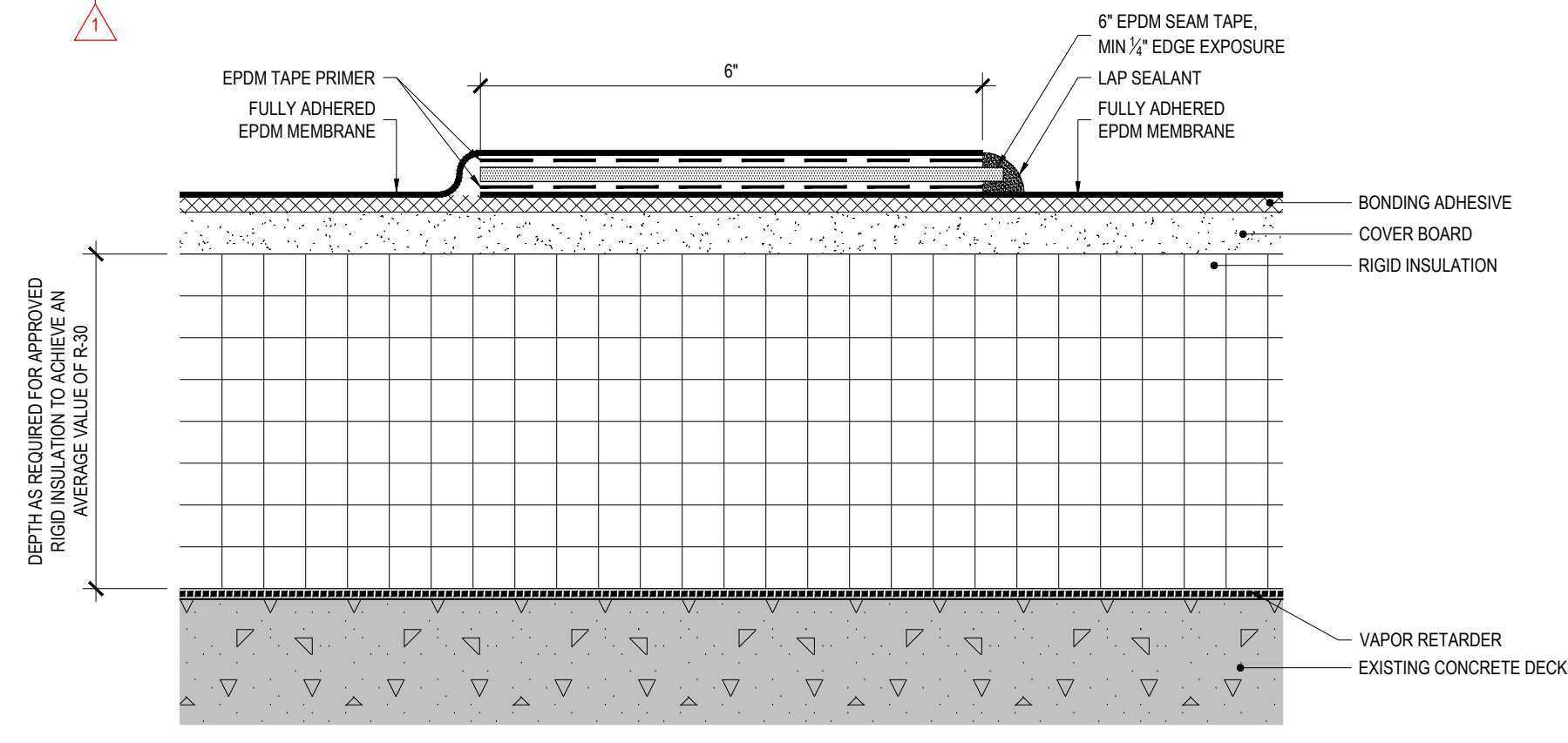
**5** EPDM ROOF ASSEMBLY - TYPICAL FIELD DETAIL  
REF: 1/A-010 SCALE: 6" = 1'-0"



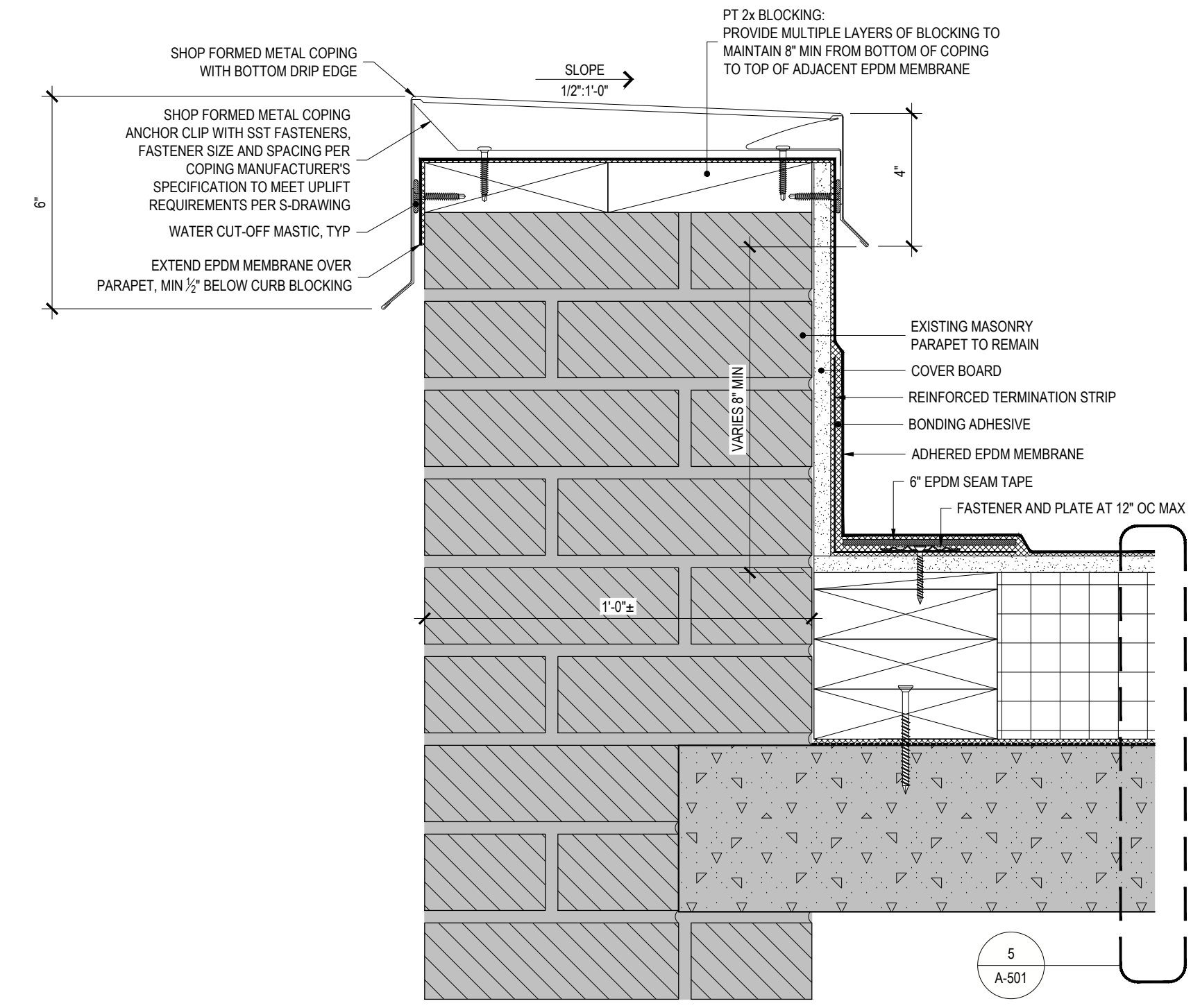
**1** ROOF B PARAPET WALL REMOVAL  
REF: 1/A-010 SCALE: 3" = 1'-0"



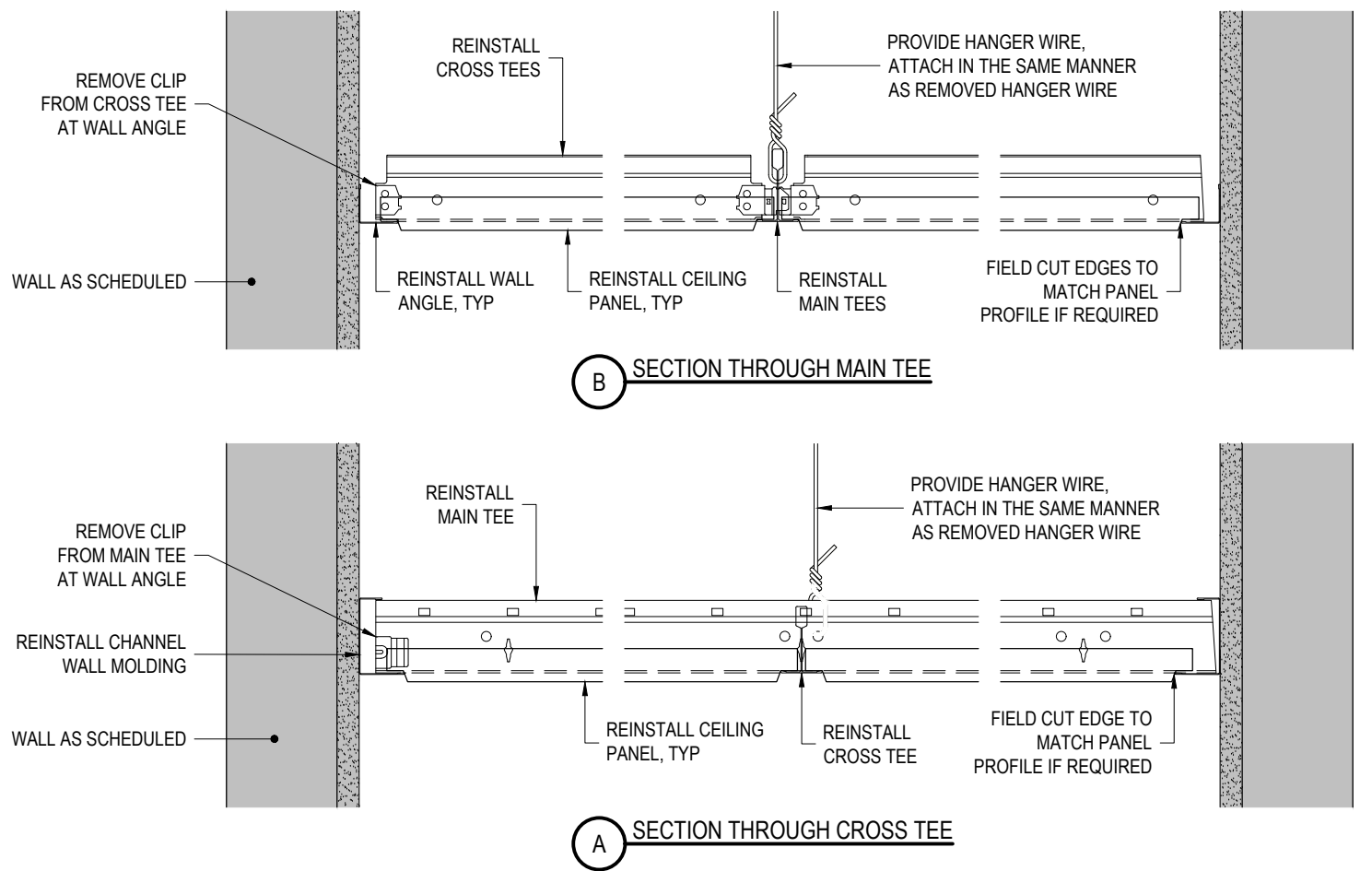
**9** REMOVE AND SALVAGE EXISTING ACOUSTIC PANEL CEILINGS  
REF: 5/S-101 SCALE: 3" = 1'-0"



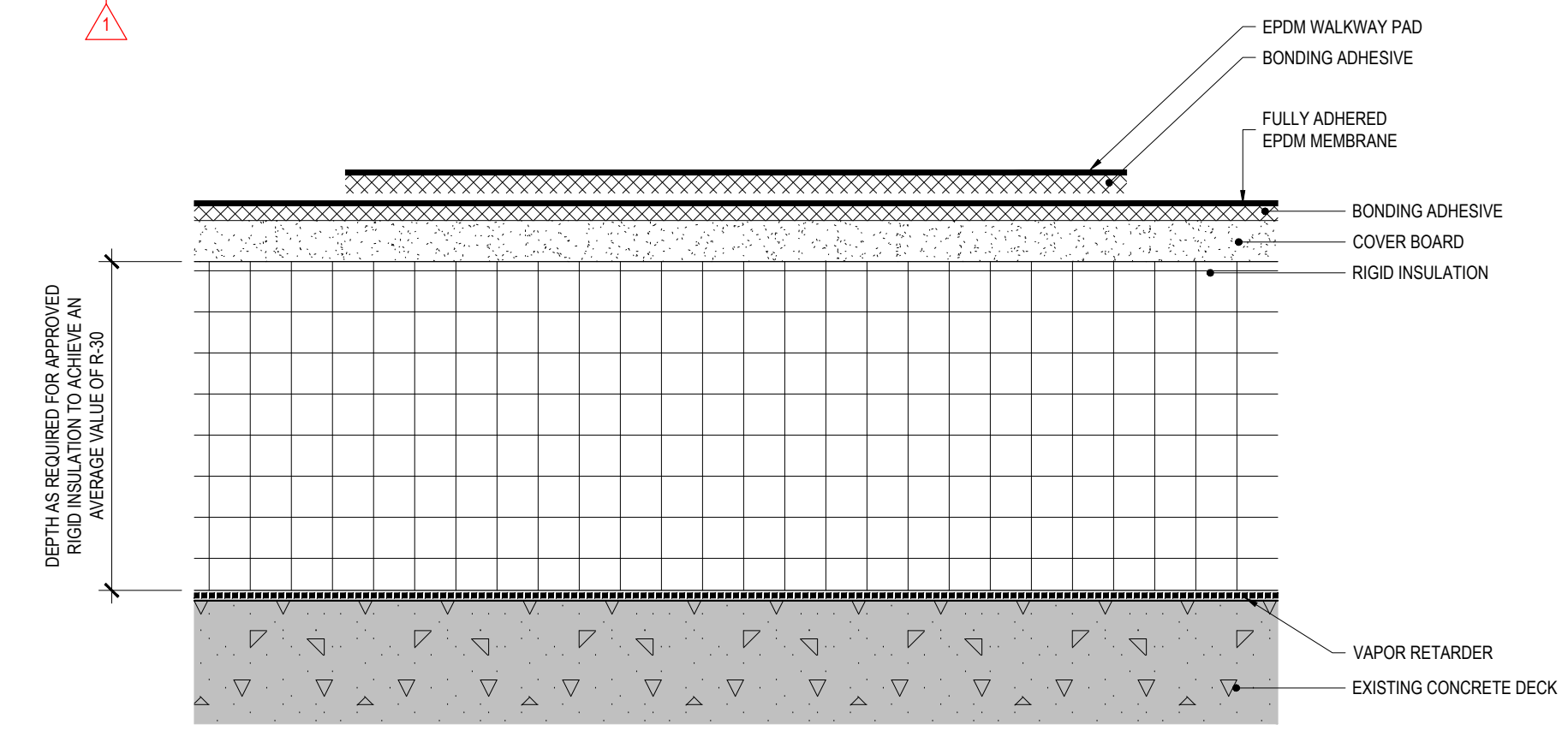
**6** EPDM ROOFING LAP SPLICE DETAIL - TYPICAL  
REF: NONE SCALE: 6" = 1'-0"



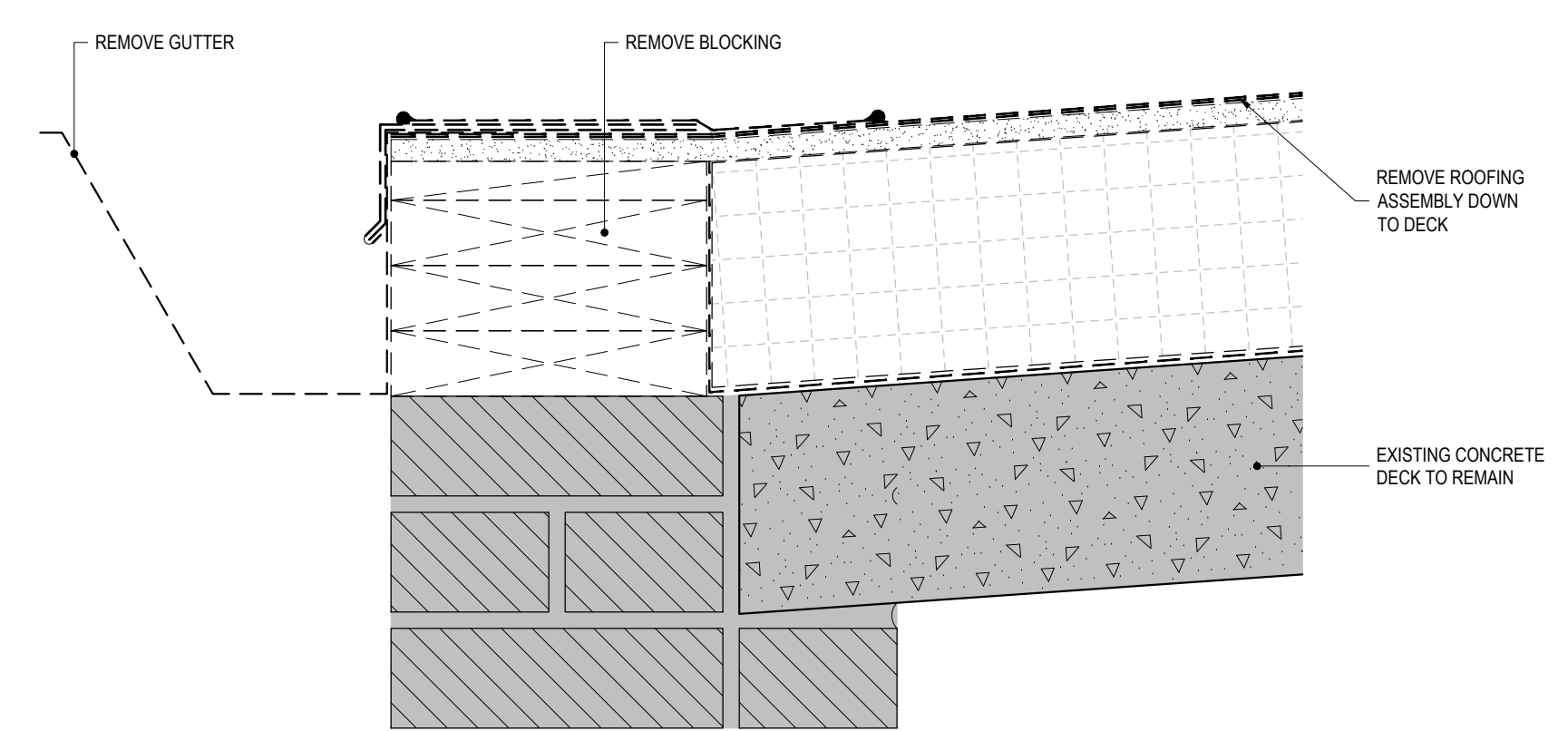
**2** SHOP FORMED METAL COPING DETAIL  
REF: 1/A-010 SCALE: 3" = 1'-0"



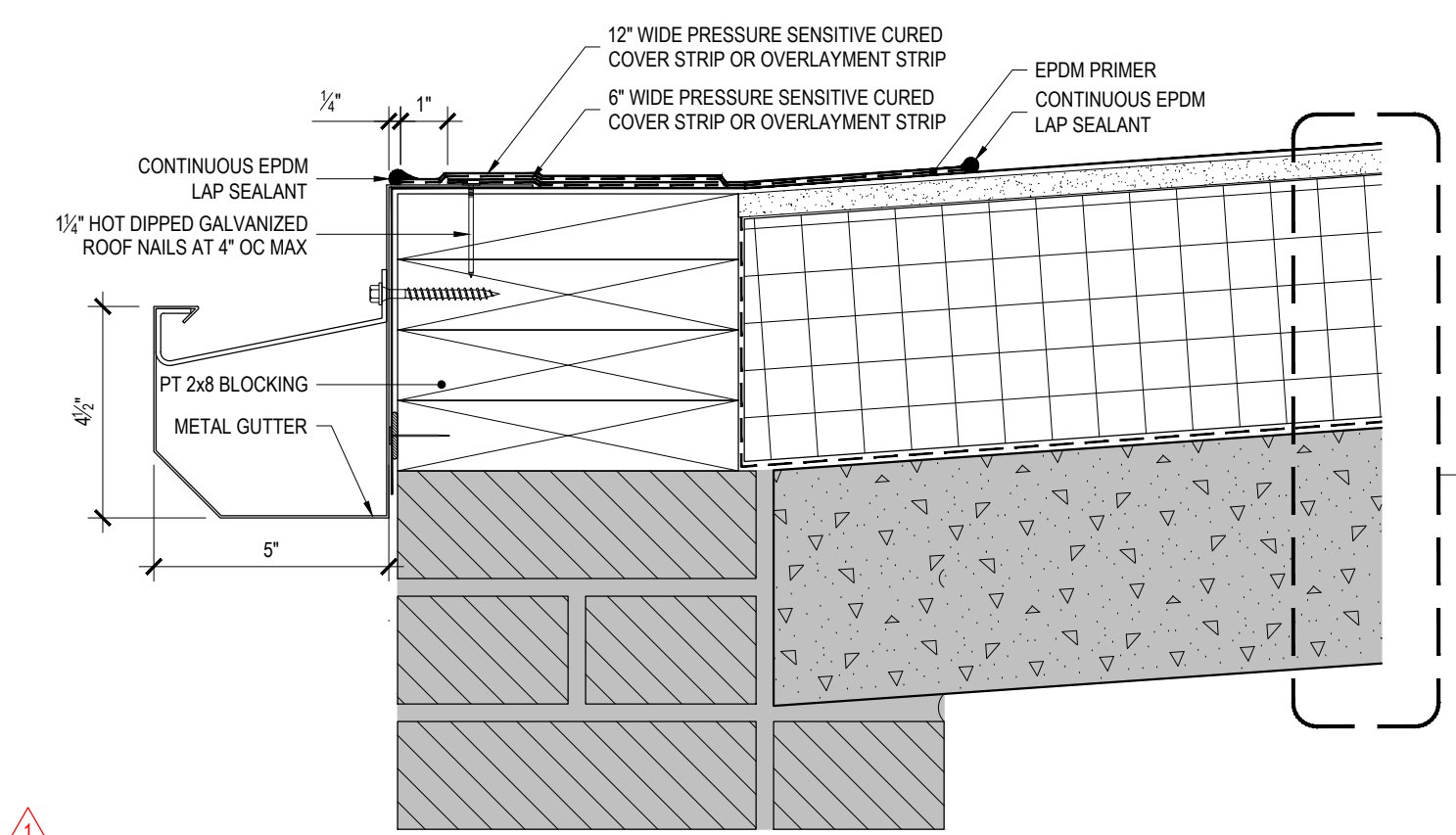
**10** REINSTALL SALVAGED ACOUSTIC CEILING PANELS  
REF: 5/S-101 SCALE: 3" = 1'-0"



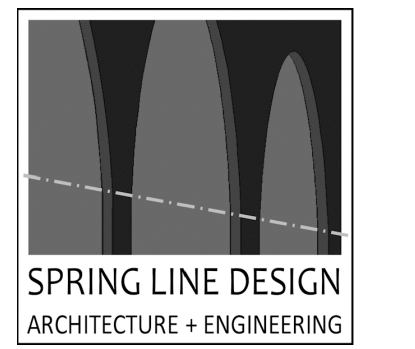
**7** EPDM ROOFING WALKWAY PAD DETAIL - TYPICAL  
REF: 1/A-010 SCALE: 6" = 1'-0"



**4** ROOF A EDGE REMOVAL  
REF: 3/A-010 SCALE: 3" = 1'-0"



**3** ROOF A EDGE DETAIL  
REF: 3/A-010 SCALE: 3" = 1'-0"



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**CONSTRUCTION**

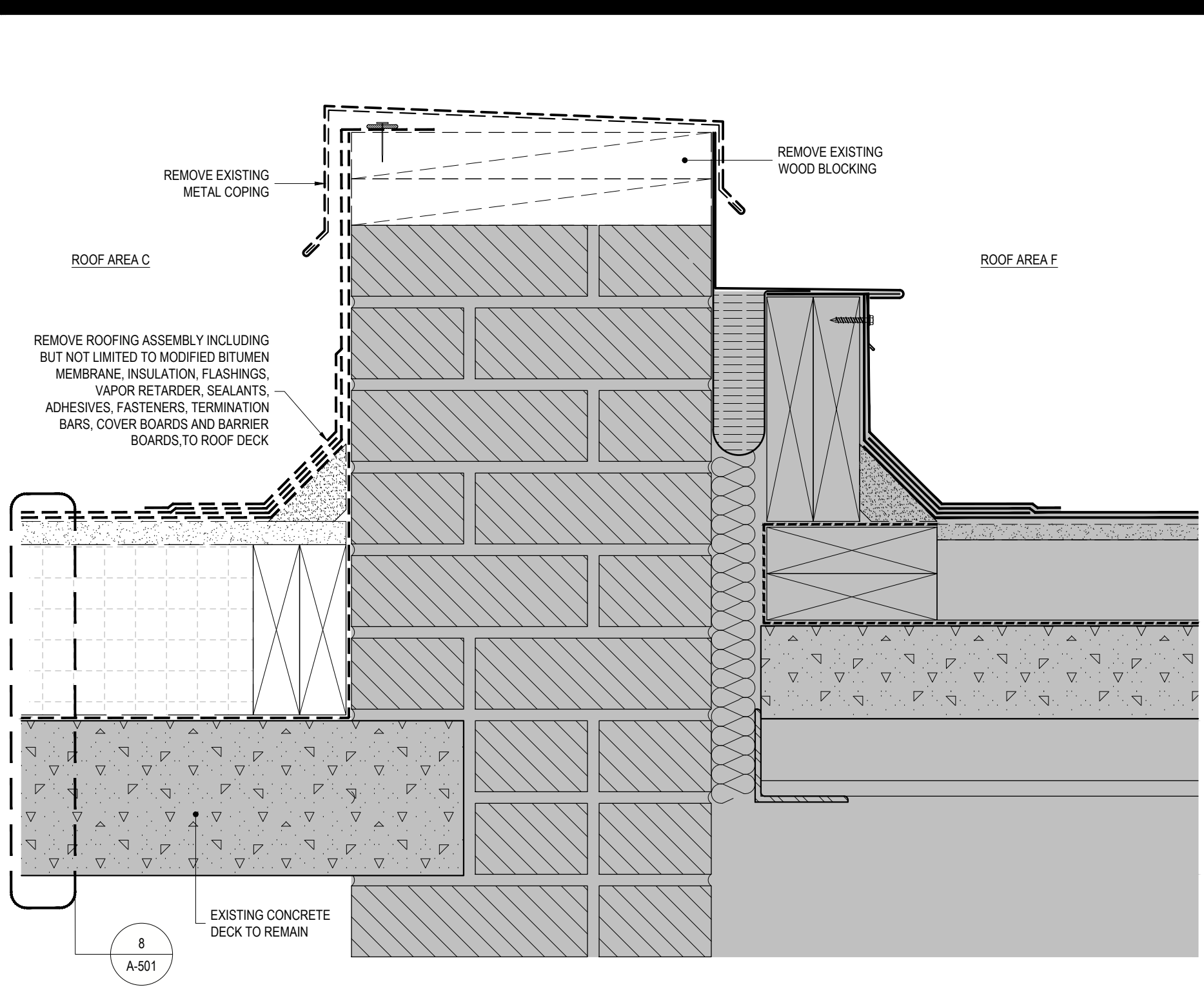
TITLE: REPAIR ROOF STATE ARMY  
LOCATION: BUILDING No. 71 321 MANOR ROAD STATEN ISLAND, NY  
CLIENT: DIVISION OF MILITARY AND NAVAL AFFAIRS

REVISED DRAWING 08/07/2024

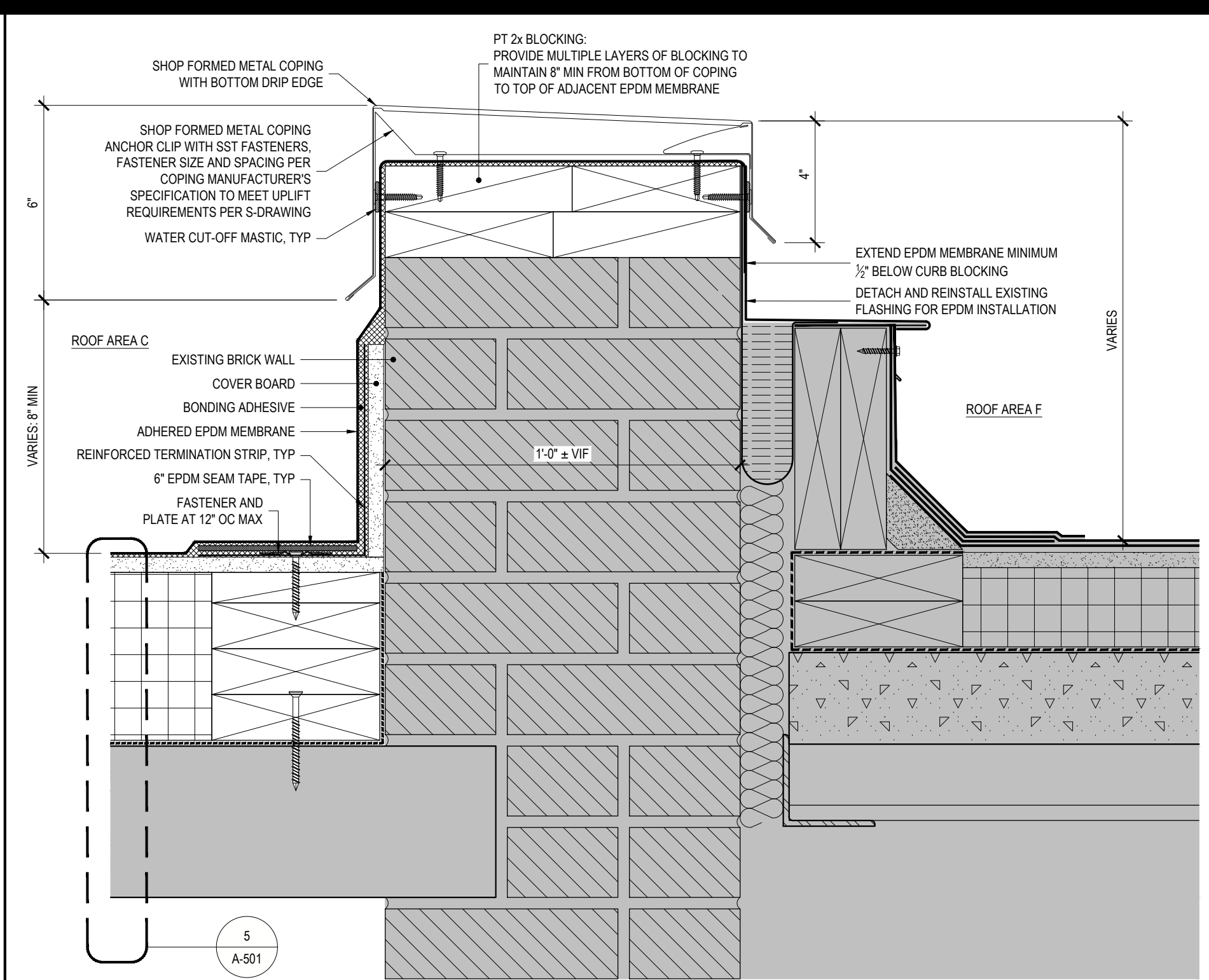
MARK	DATE	DESCRIPTION
▲	08/07/2024	ADDENDUM 1
	05/24/2024	BID DOCUMENT

PROJECT NUMBER: 47599 - C  
DESIGNED BY: KK  
DRAWN BY: SS  
FIELD CHECK:  
APPROVED:

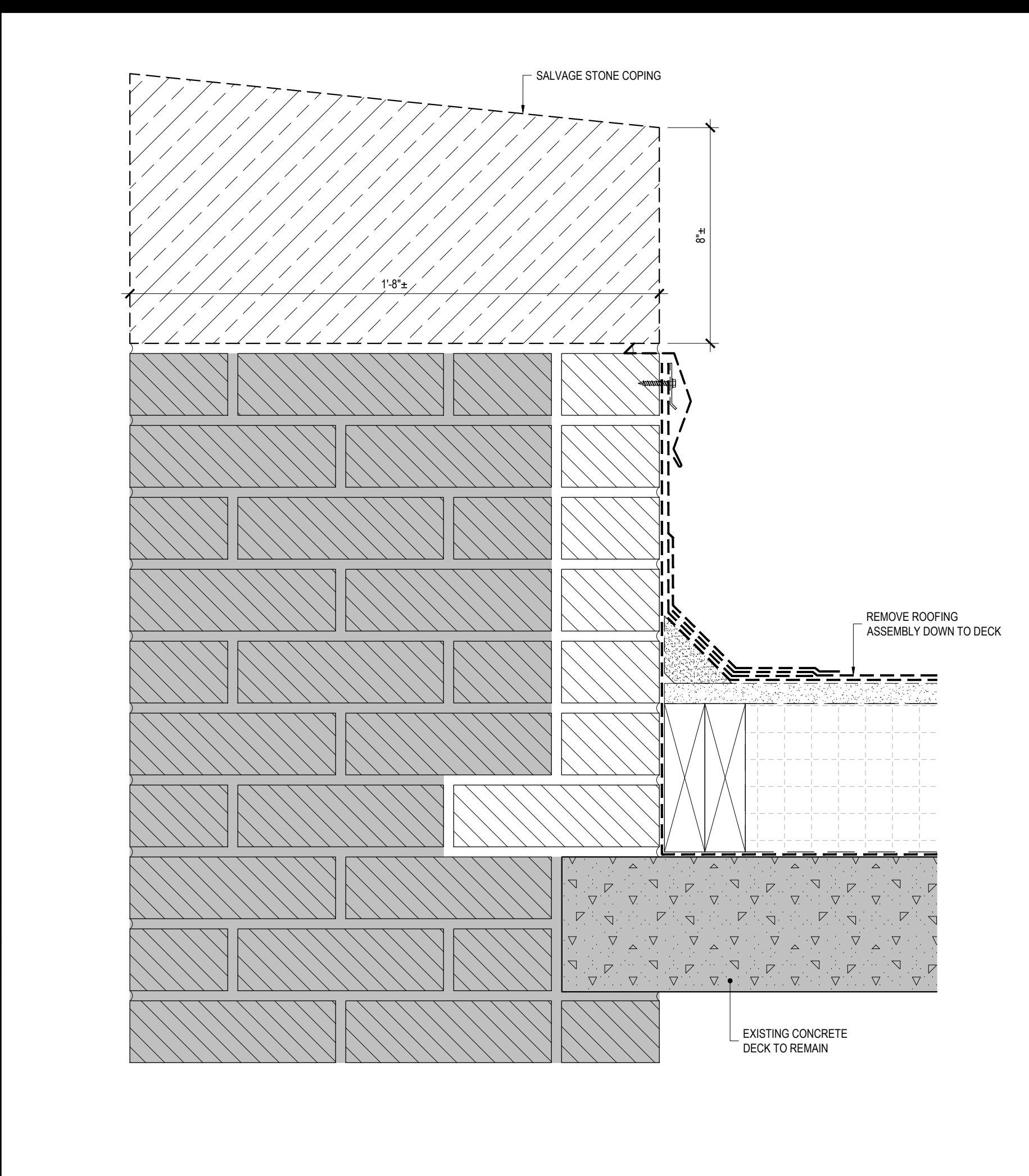
SHEET TITLE: ROOF DETAILS  
DRAWING NUMBER: A-501  
SHEET 13 OF 20



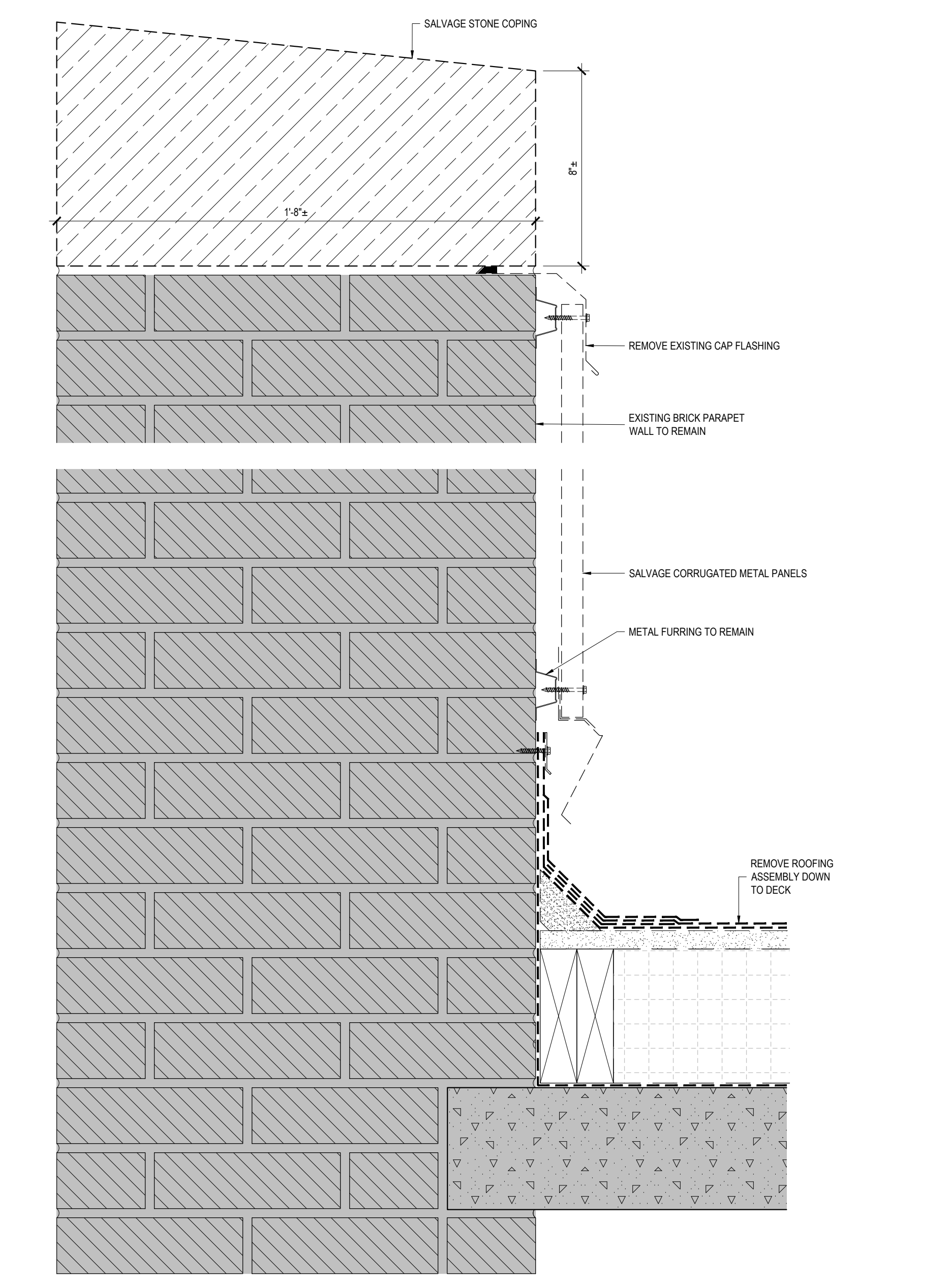
**5 BUILDING EXPANSION JOINT REMOVALS BETWEEN ROOFS C AND F**  
 REF: 1/A-011 SCALE: 3" = 1'-0"



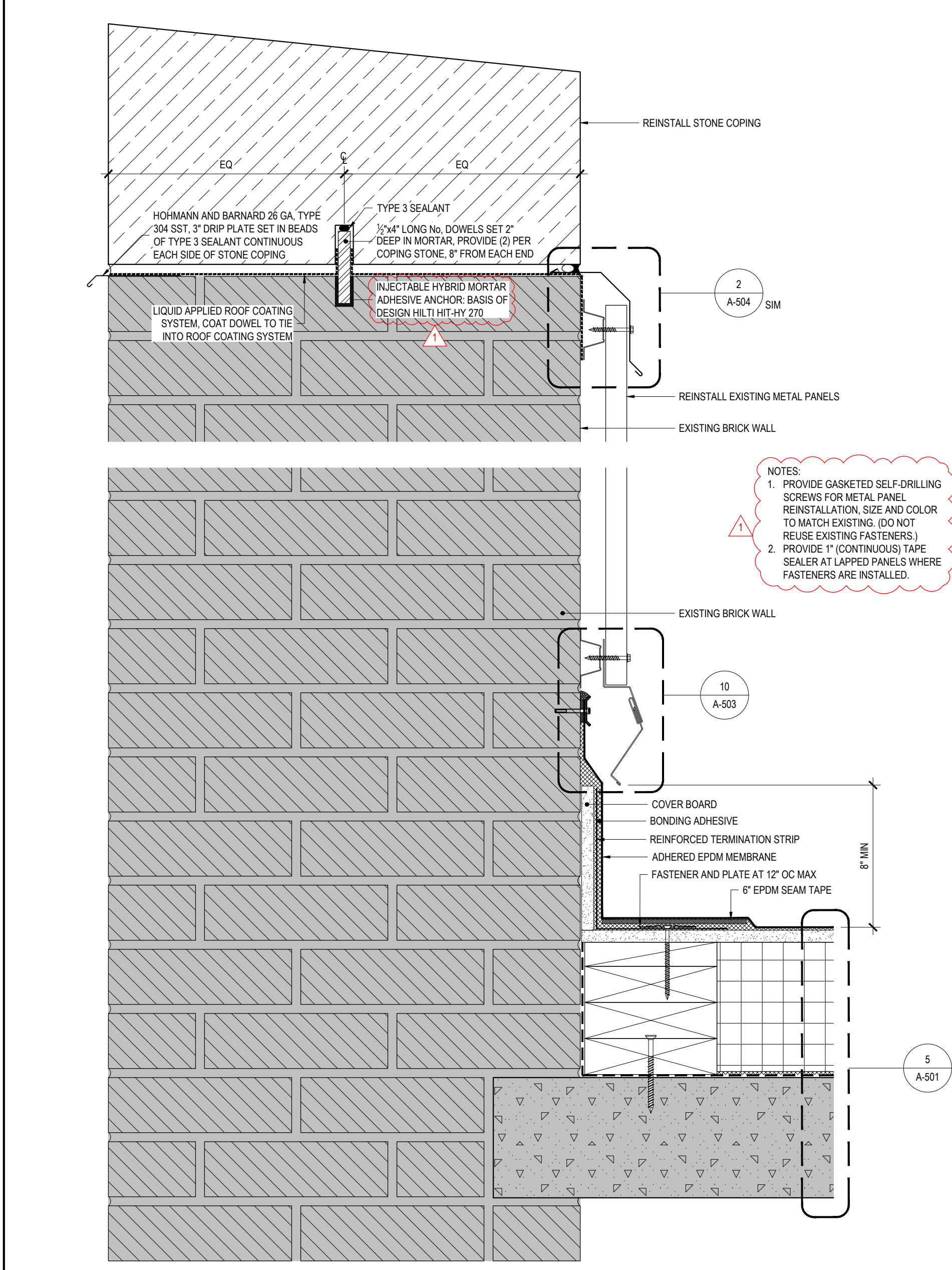
**6 BUILDING EXPANSION JOINT BETWEEN ROOFS C AND F**  
 REF: 1/A-102 SCALE: 3" = 1'-0"



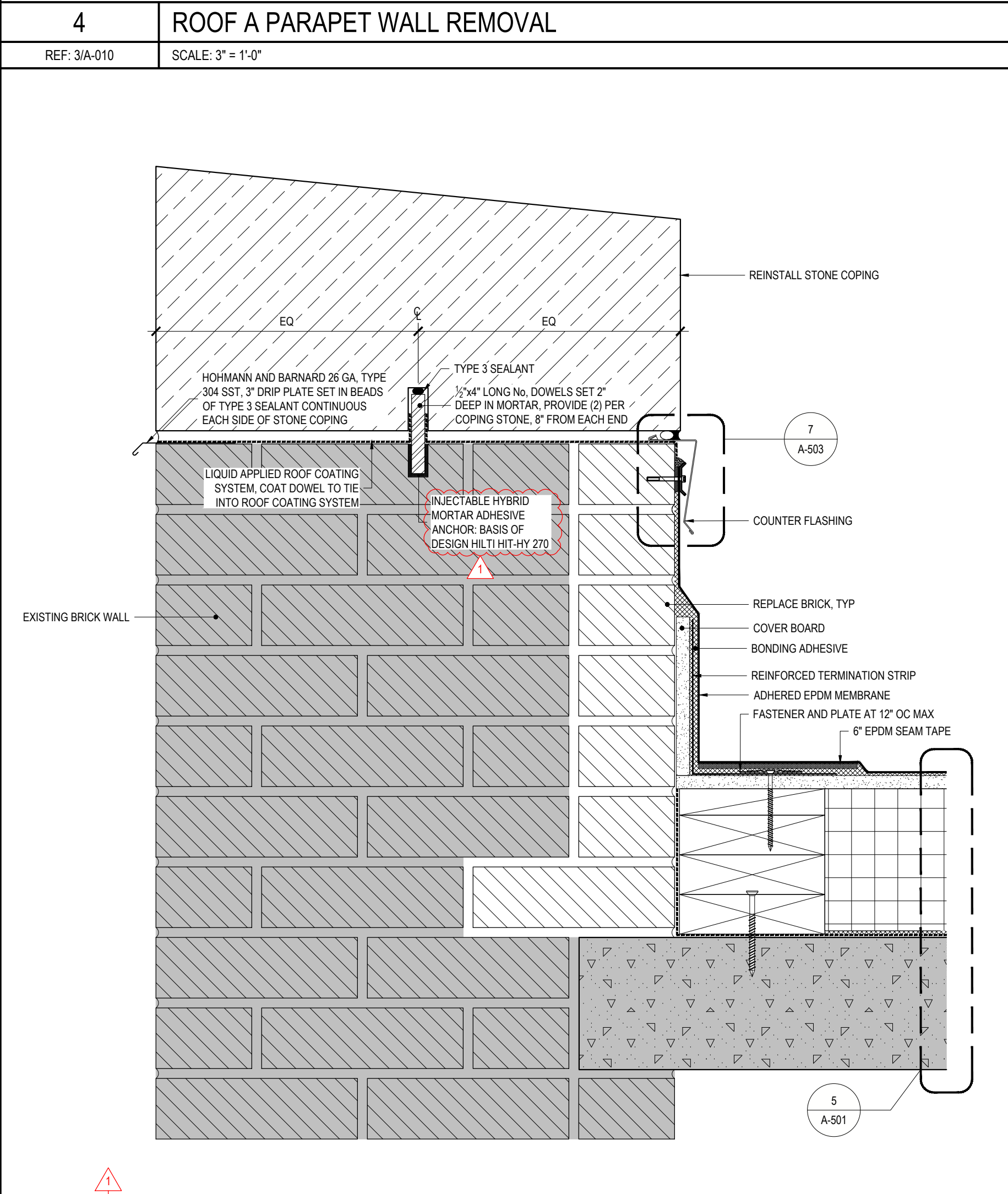
**4 ROOF A PARAPET WALL REMOVAL**  
 REF: 3/A-010 SCALE: 3" = 1'-0"



**1 ROOF B AND C PARAPET WALL AND INTERIOR TURRET WALL REMOVAL**  
 REF: 1/A-011 SCALE: 3" = 1'-0"



**2 ROOF B AND C PARAPET WALL AND INTERIOR TURRET WALL DETAIL**  
 REF: 1/A-102 SCALE: 3" = 1'-0"



**3 ROOF A PARAPET WALL FLASHING DETAIL**  
 REF: 4/A-101 SCALE: 3" = 1'-0"

**NEW YORK STATE Office of General Services**  
 DESIGN & CONSTRUCTION

CONSULTANT  
 CERTIFICATE OF AUTHORIZATION No.: 0019551  
  
 SPRING LINE DESIGN  
 ARCHITECTURE + ENGINEERING

**ENERGY CODE STATEMENT:**  
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REGISTRATION EXPIRES: 12/31/2026

**CONTRACT: CONSTRUCTION**  
 TITLE: REPAIR ROOF STATE ARMY  
 LOCATION: BUILDING No. 71 321 MANOR ROAD STATEN ISLAND, NY  
 CLIENT: DIVISION OF MILITARY AND NAVAL AFFAIRS

**REVISED DRAWING 08/07/2024**

MARK	DATE	DESCRIPTION
▲	08/07/2024	ADDENDUM 1
	05/24/2024	BID DOCUMENT

PROJECT NUMBER: **47599 - C**  
 DESIGNED BY: KK  
 DRAWN BY: SS  
 FIELD CHECK:  
 APPROVED:

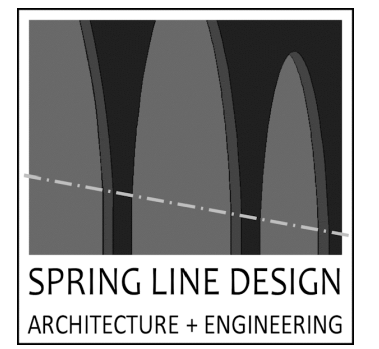
SHEET TITLE:  
**ROOF DETAILS**

DRAWING NUMBER:  
**A-502**

SHEET 14 OF 20

36x24 PLOT SHEET

CONSULTANT  
CERTIFICATE OF AUTHORIZATION No.: 0019551



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**CONSTRUCTION**

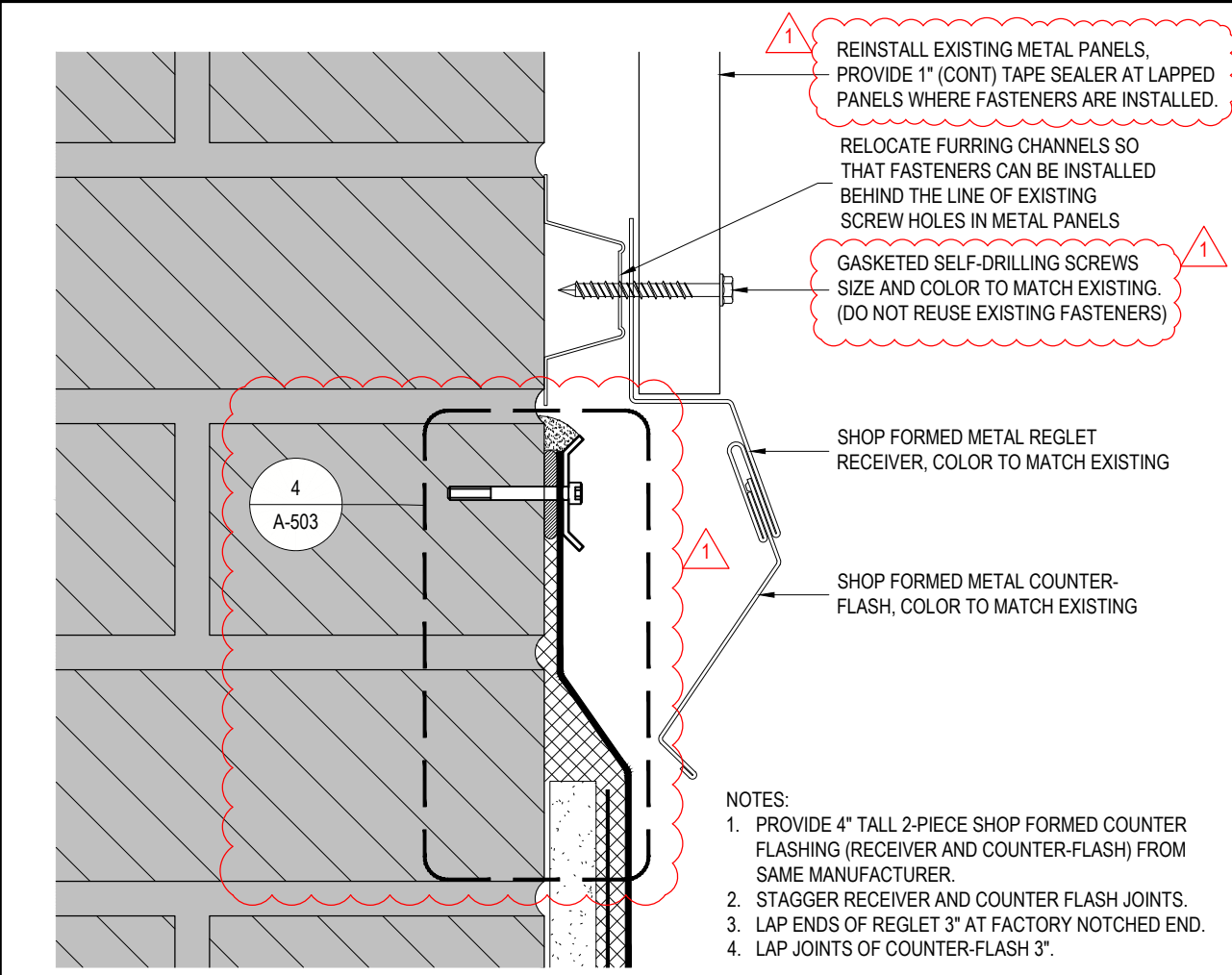
TITLE: REPAIR ROOF STATE ARMYORY  
LOCATION: BUILDING No. 71 321 MANOR ROAD STATEN ISLAND, NY  
CLIENT: DIVISION OF MILITARY AND NAVAL AFFAIRS

REVISED DRAWING 08/07/2024

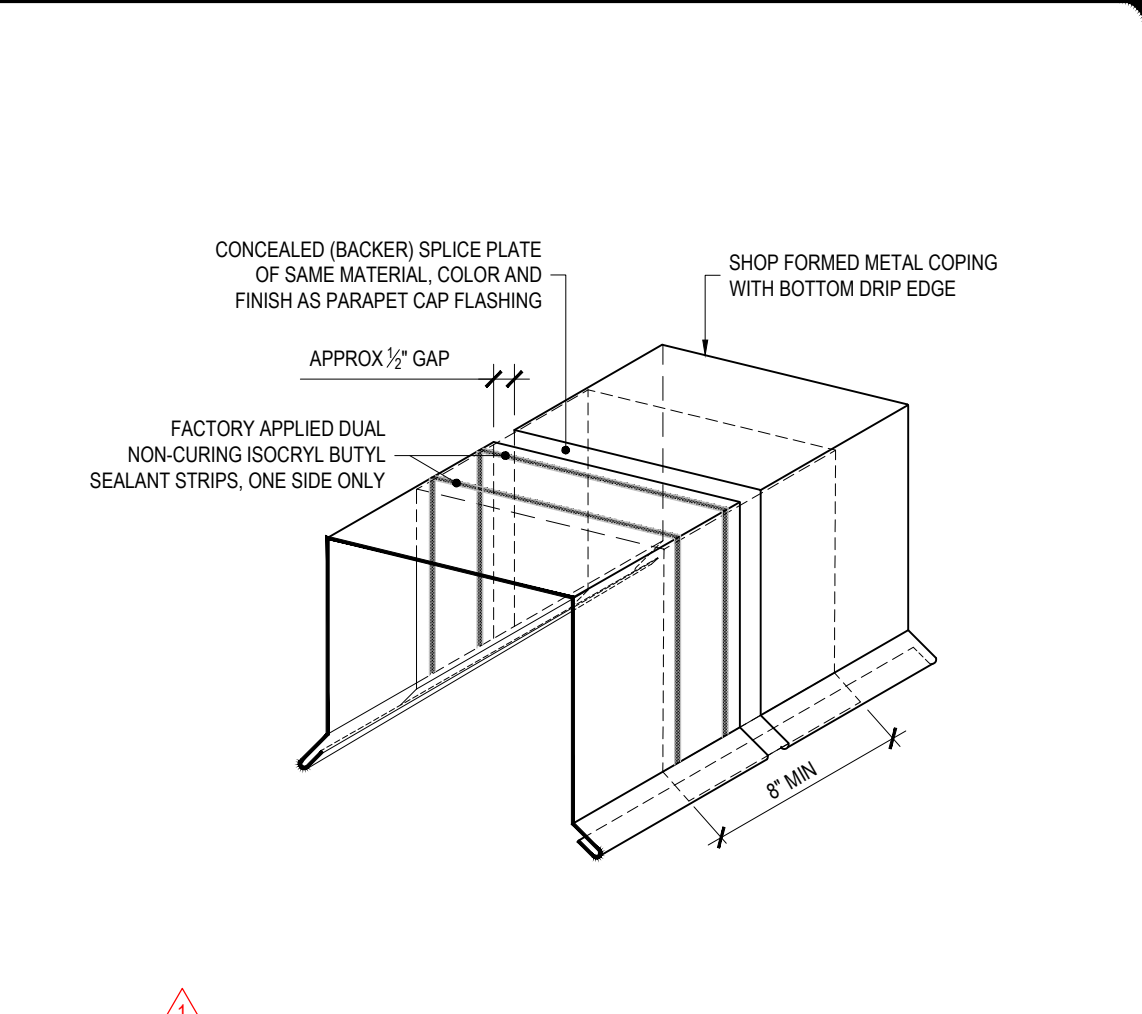
MARK	DATE	DESCRIPTION
▲	08/07/2024	ADDENDUM 1
	05/24/2024	BID DOCUMENT

PROJECT NUMBER: 47599 - C  
DESIGNED BY: KK  
DRAWN BY: SS  
FIELD CHECK:  
APPROVED:  
SHEET TITLE: ROOF DETAILS

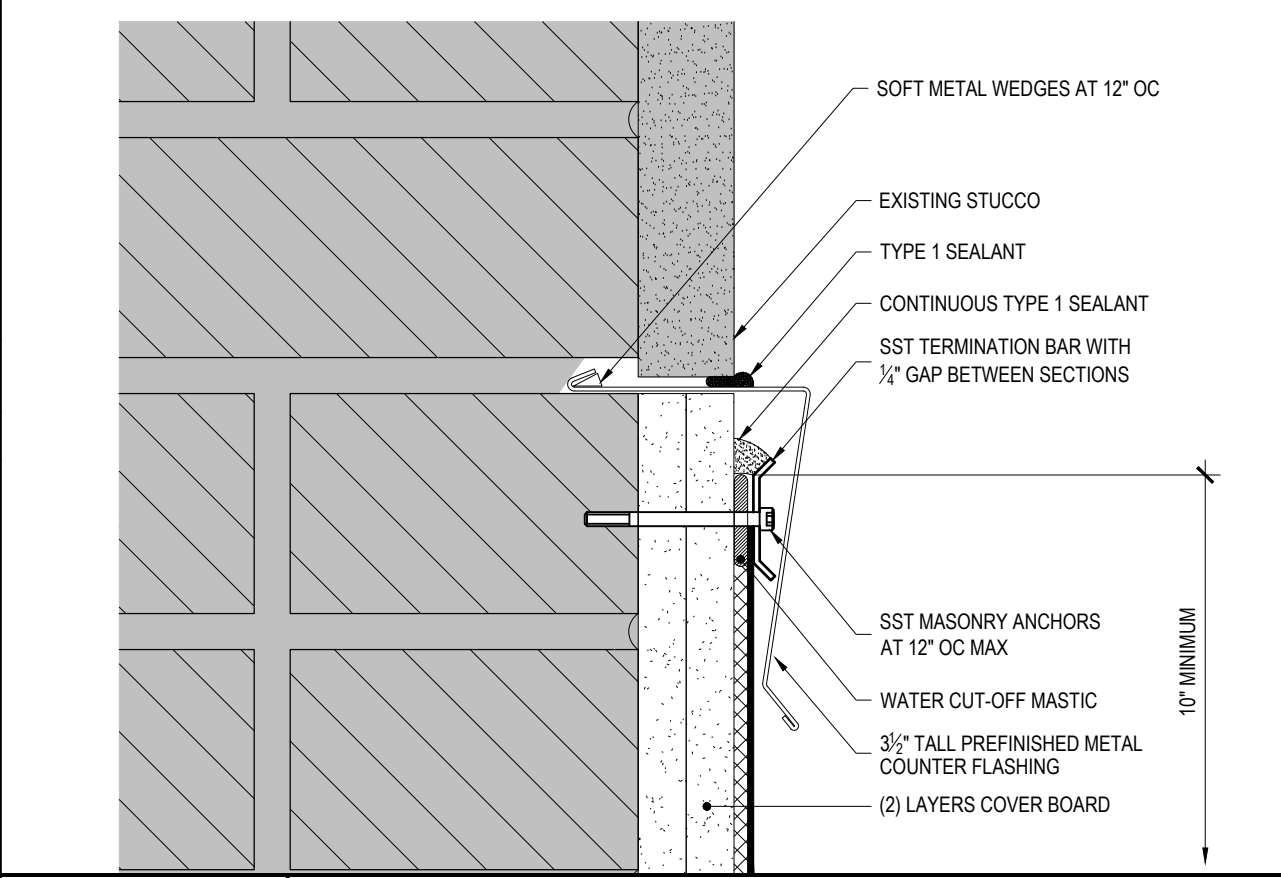
DRAWING NUMBER: **A-503**  
SHEET 15 OF 20



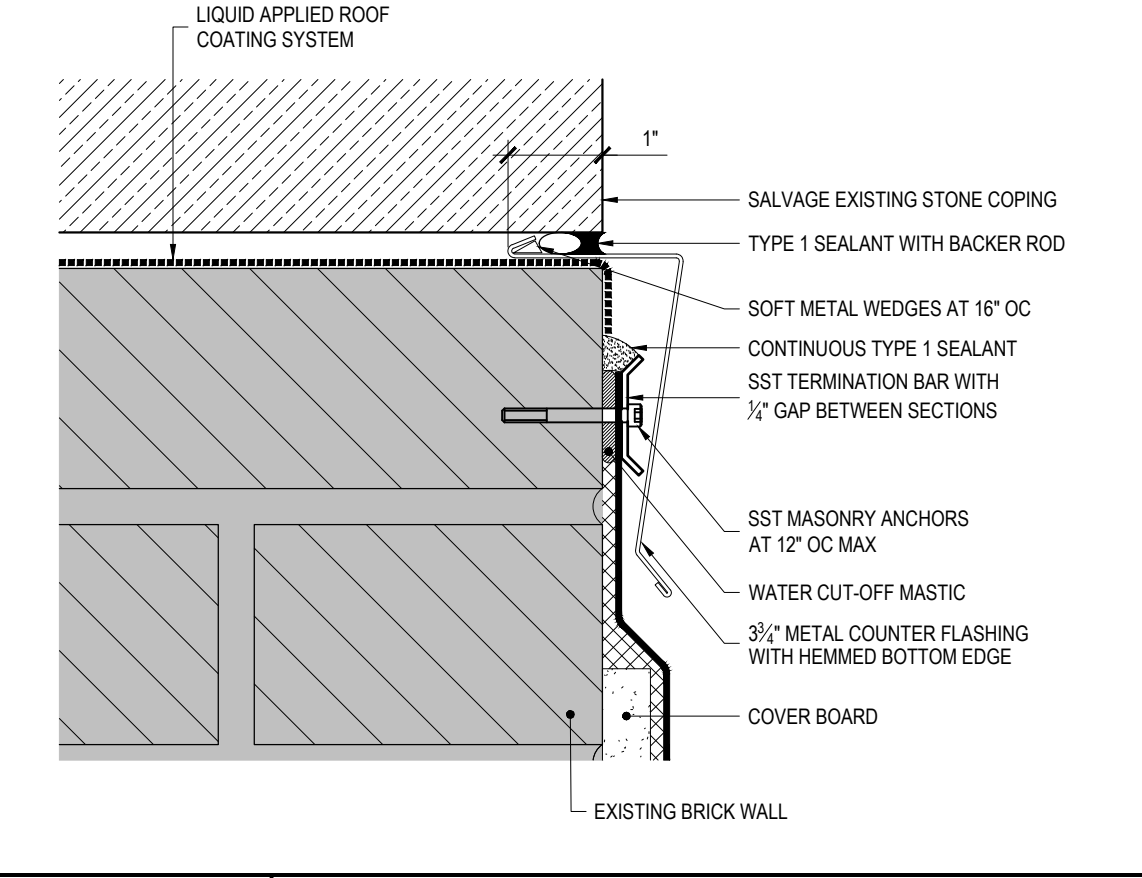
**10 SHOP FORMED COUNTER FLASHING**  
REF: 2/A-502 SCALE: 6" = 1'-0"



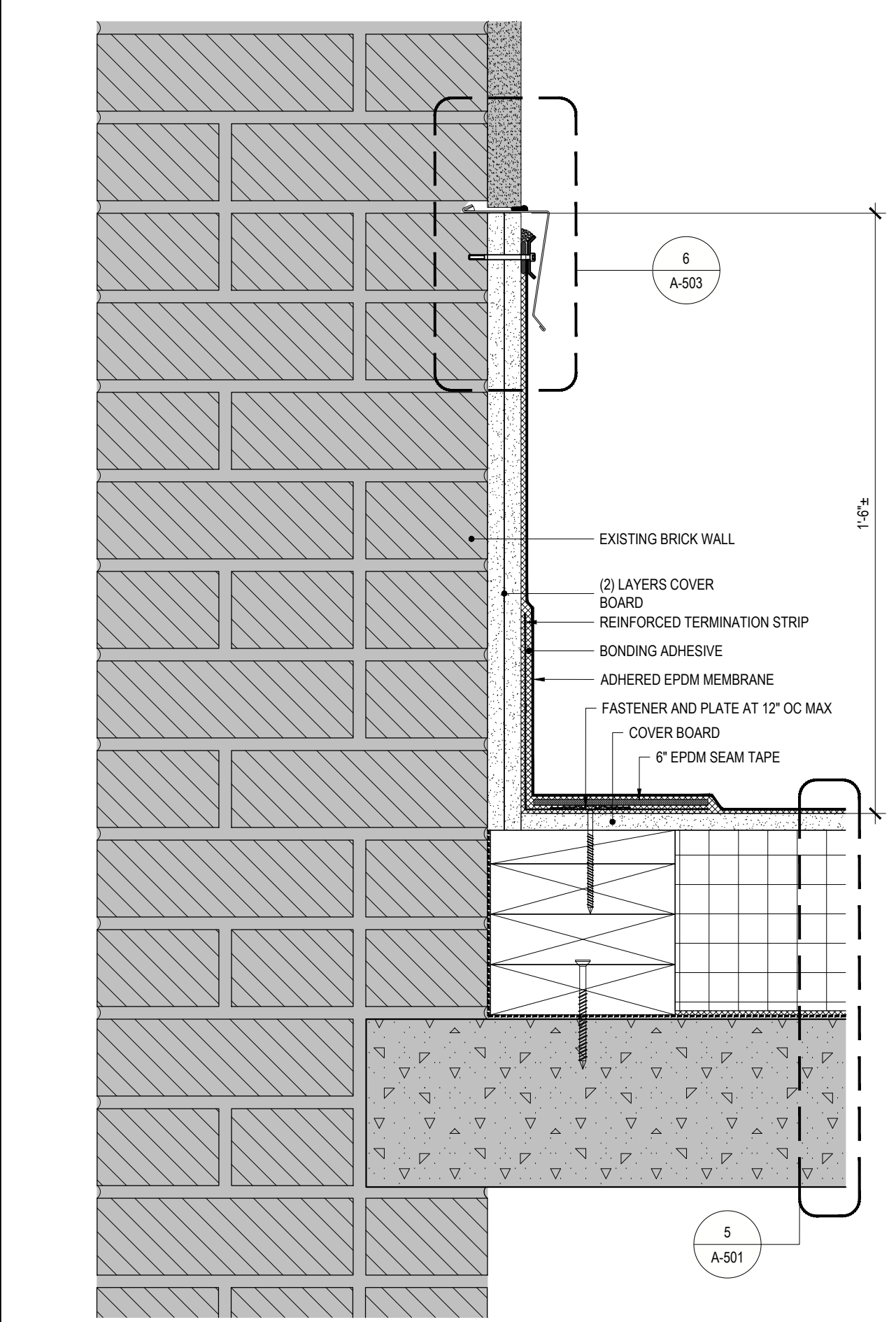
**11 METAL COPING SPLICE PLATE**  
REF: NONE SCALE: 1 1/2" = 1'-0"



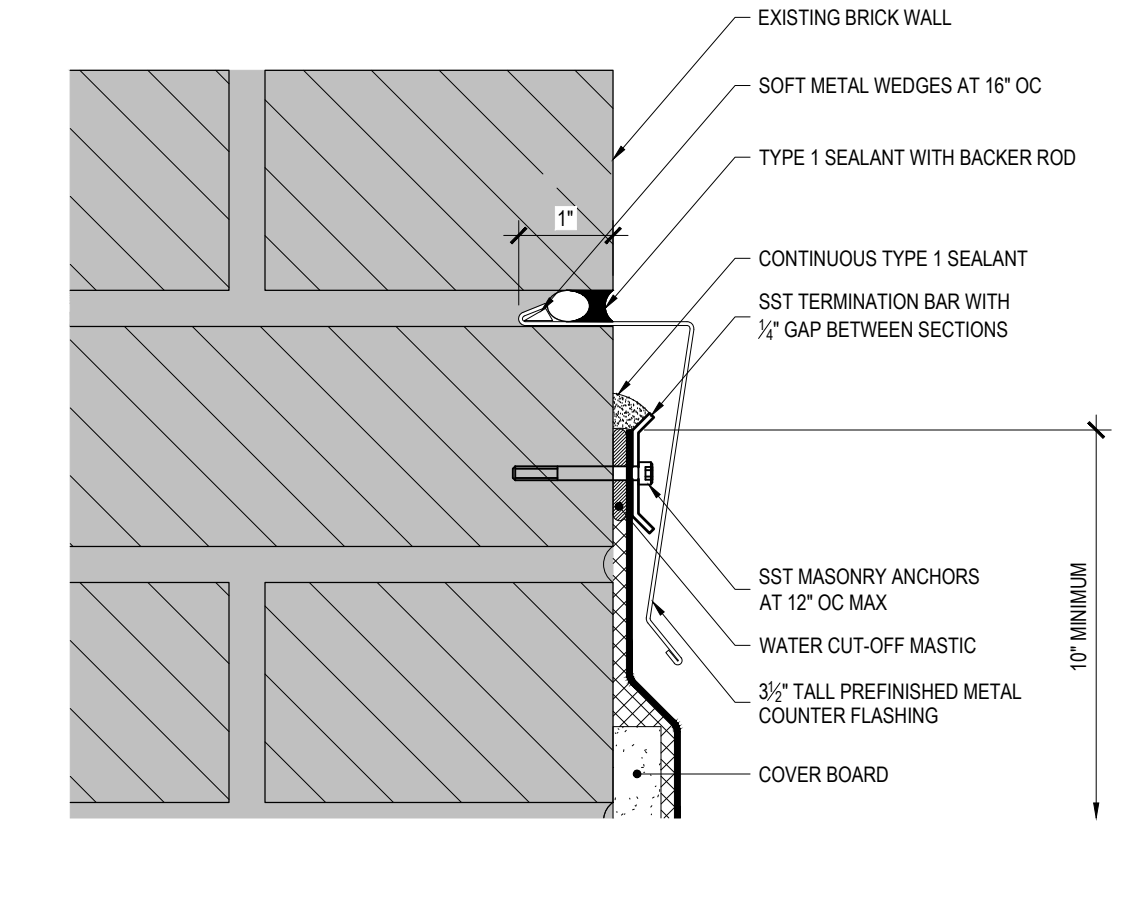
**6 STUCCO WALL COUNTER FLASHING DETAIL**  
REF: 3/A-503 SCALE: 6" = 1'-0"



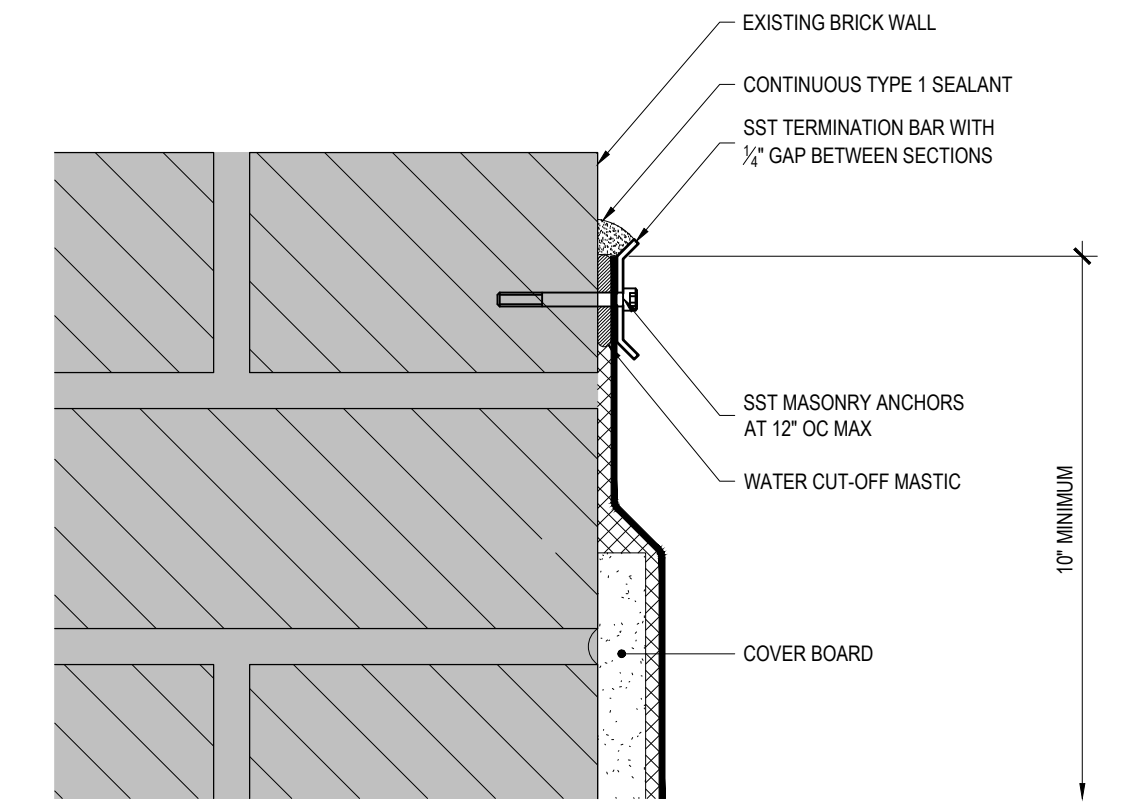
**7 COUNTER FLASHING AT STONE COPING**  
REF: 3/A-502 SCALE: 6" = 1'-0"



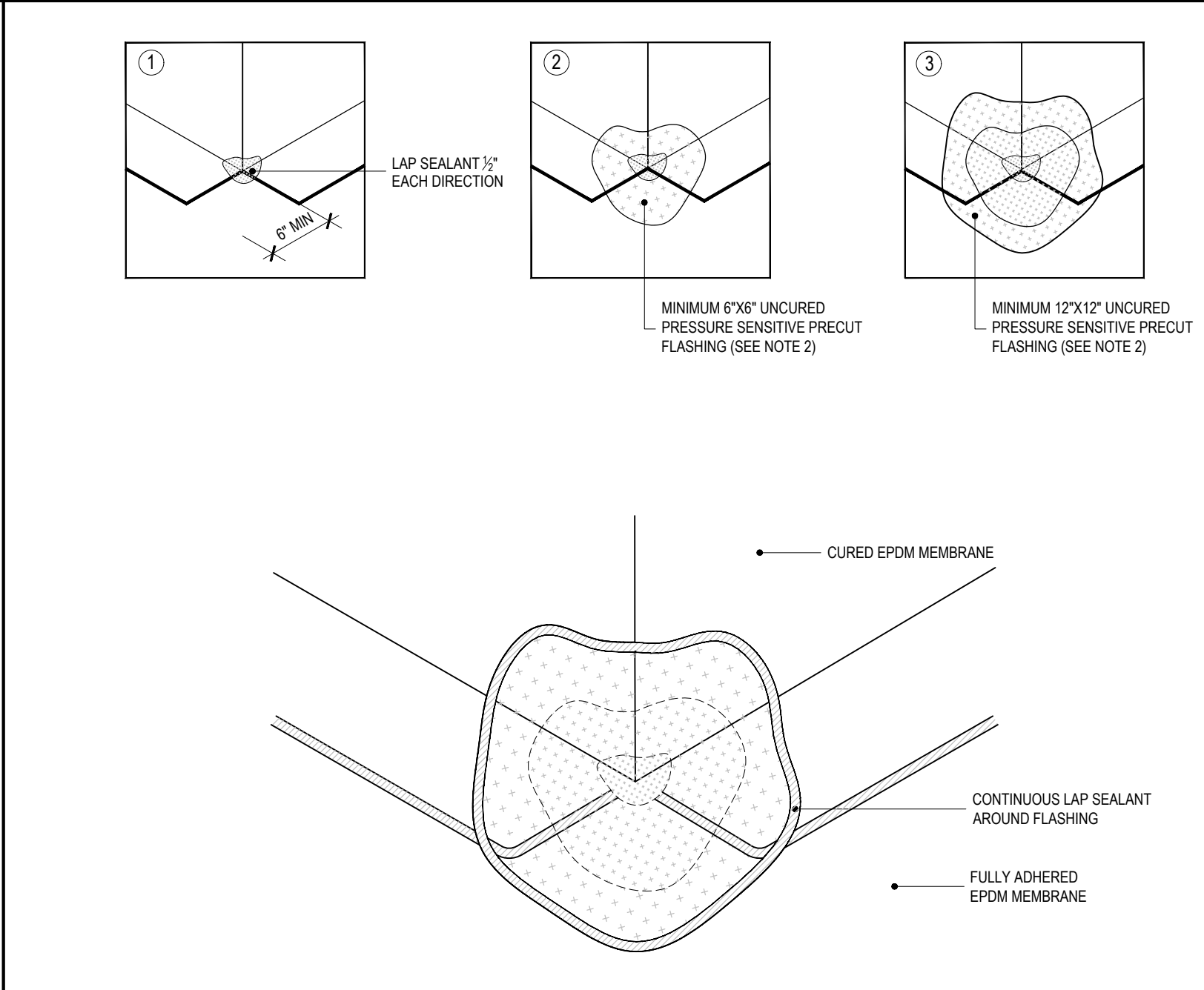
**3 STUCCO WALL BASE DETAIL**  
REF: 4/A-101 SCALE: 3" = 1'-0"



**5 TYPICAL COUNTER FLASHING AT PARAPET**  
REF: 2/A-503 SCALE: 6" = 1'-0"

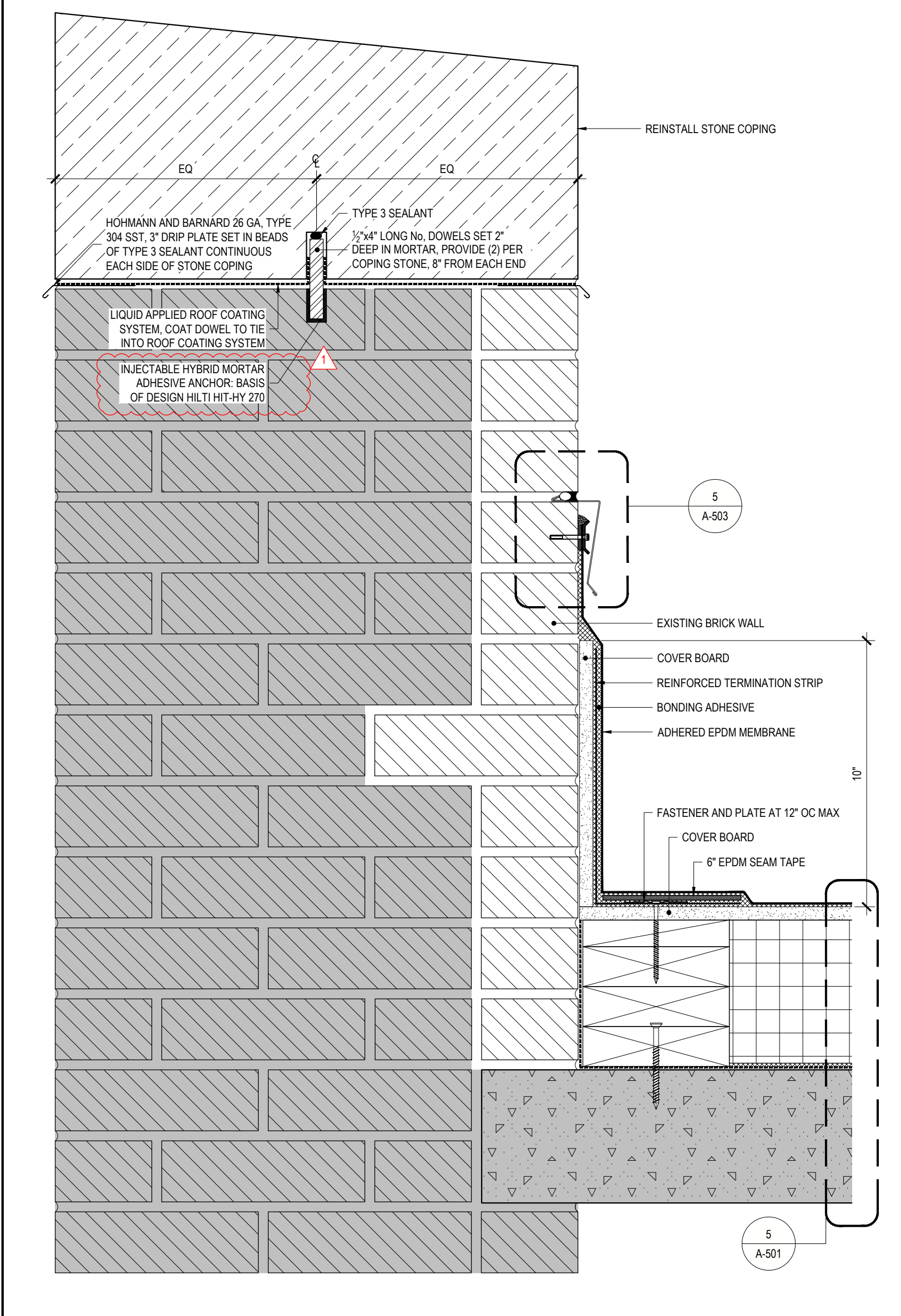


**4 TYPICAL TERMINATION BAR AT PARAPET**  
REF: 10/A-503 SCALE: 6" = 1'-0"

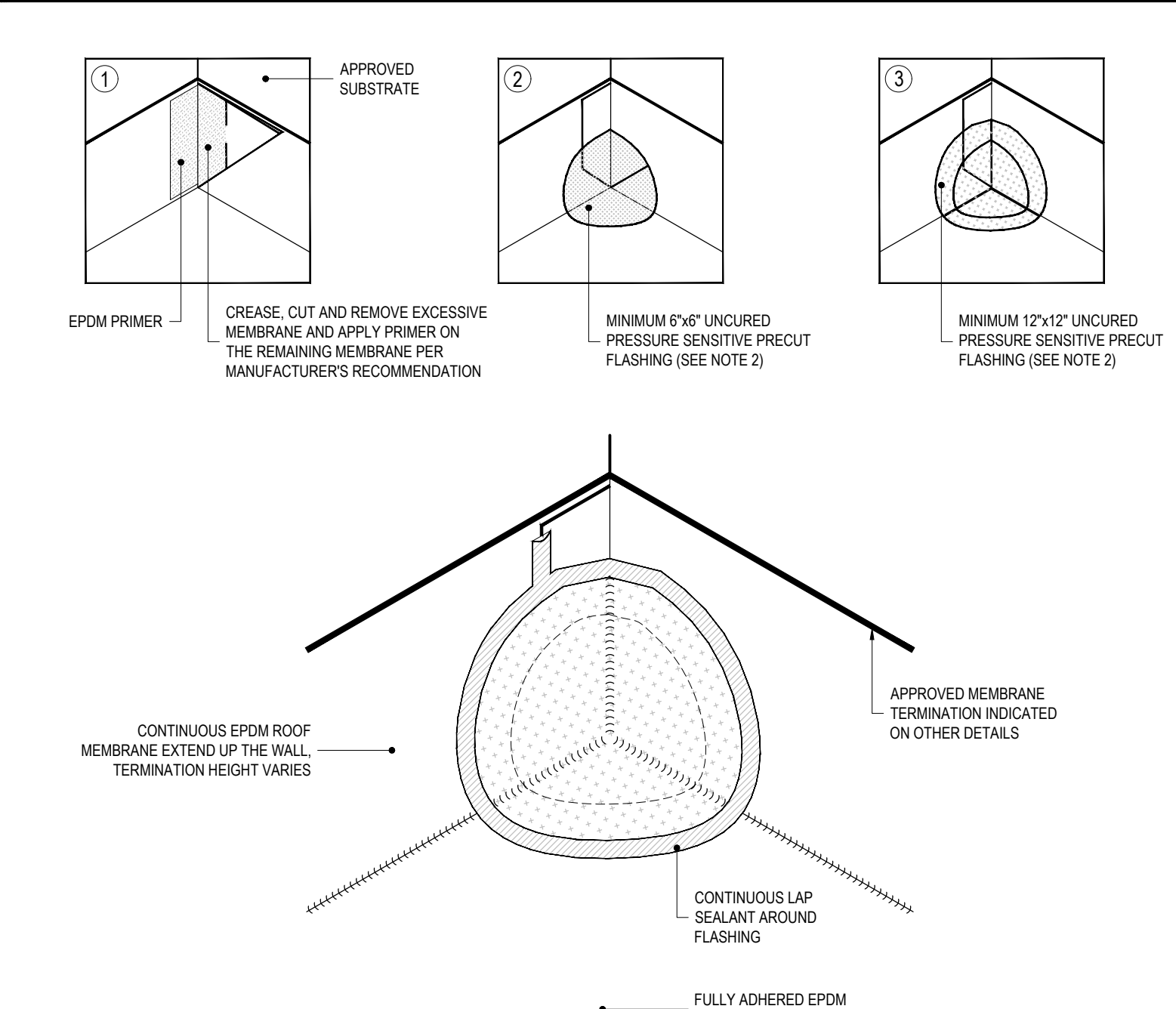


NOTES:  
1. SEAL ALL EDGES WITH LAP SEALANT.  
2. PRIME ALL SURFACES TO RECEIVE UNCURED PRESSURE SENSITIVE FLASHING.  
3. 30 YEAR WARRANTY REQUIRED IF MANUFACTURER'S MINIMUMS EXCEED THOSE NOTED ABOVE FOR A 30 YEAR WARRANTY. PROVIDE MATERIAL AND INSTALLATION THAT MEETS MANUFACTURER'S MINIMUMS.

**9 OUTSIDE CORNER DETAIL**  
REF: NONE SCALE: NTS

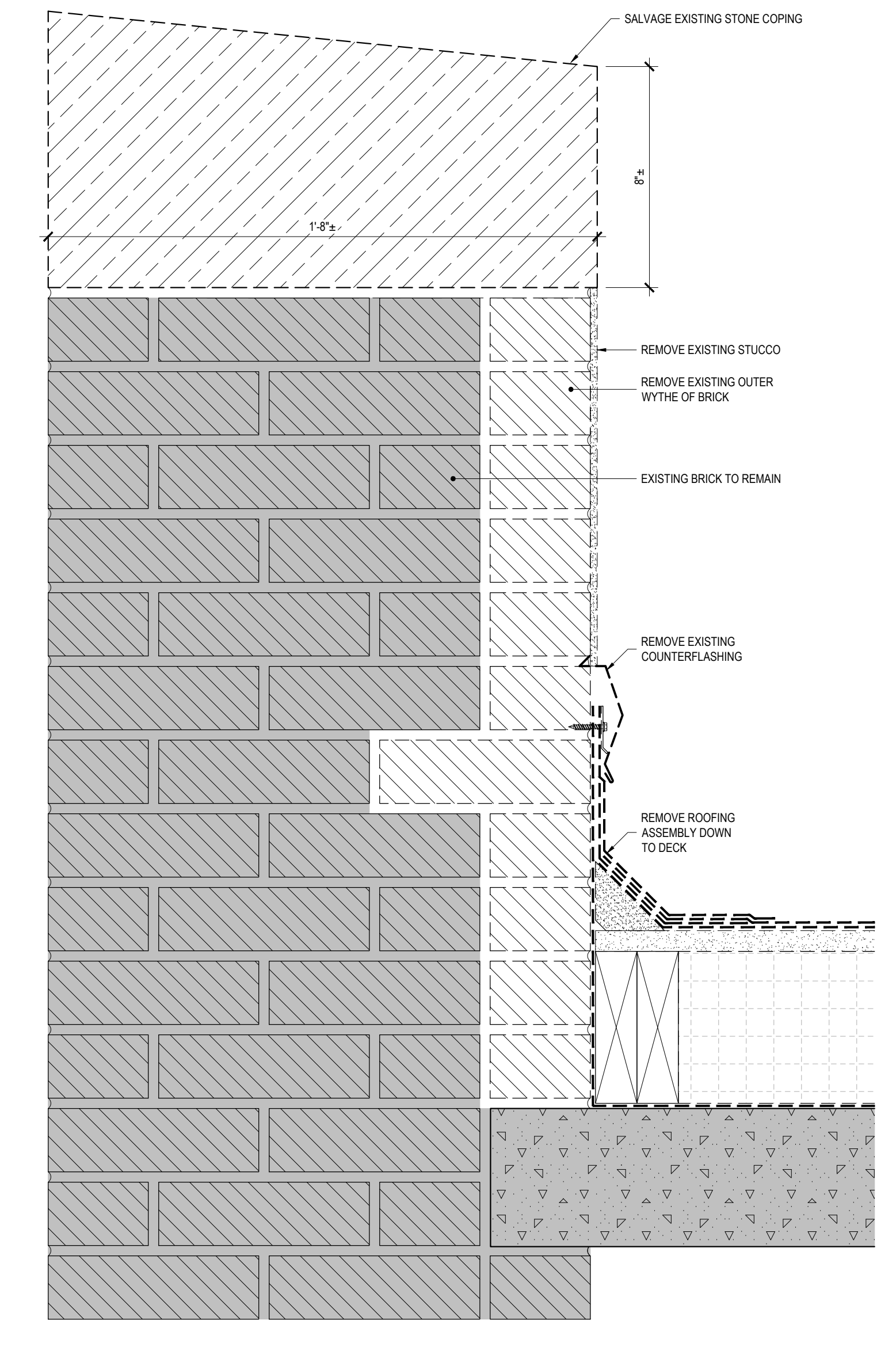


**2 ROOF A PARAPET WALL FLASHING DETAIL**  
REF: 4/A-101 SCALE: 3" = 1'-0"

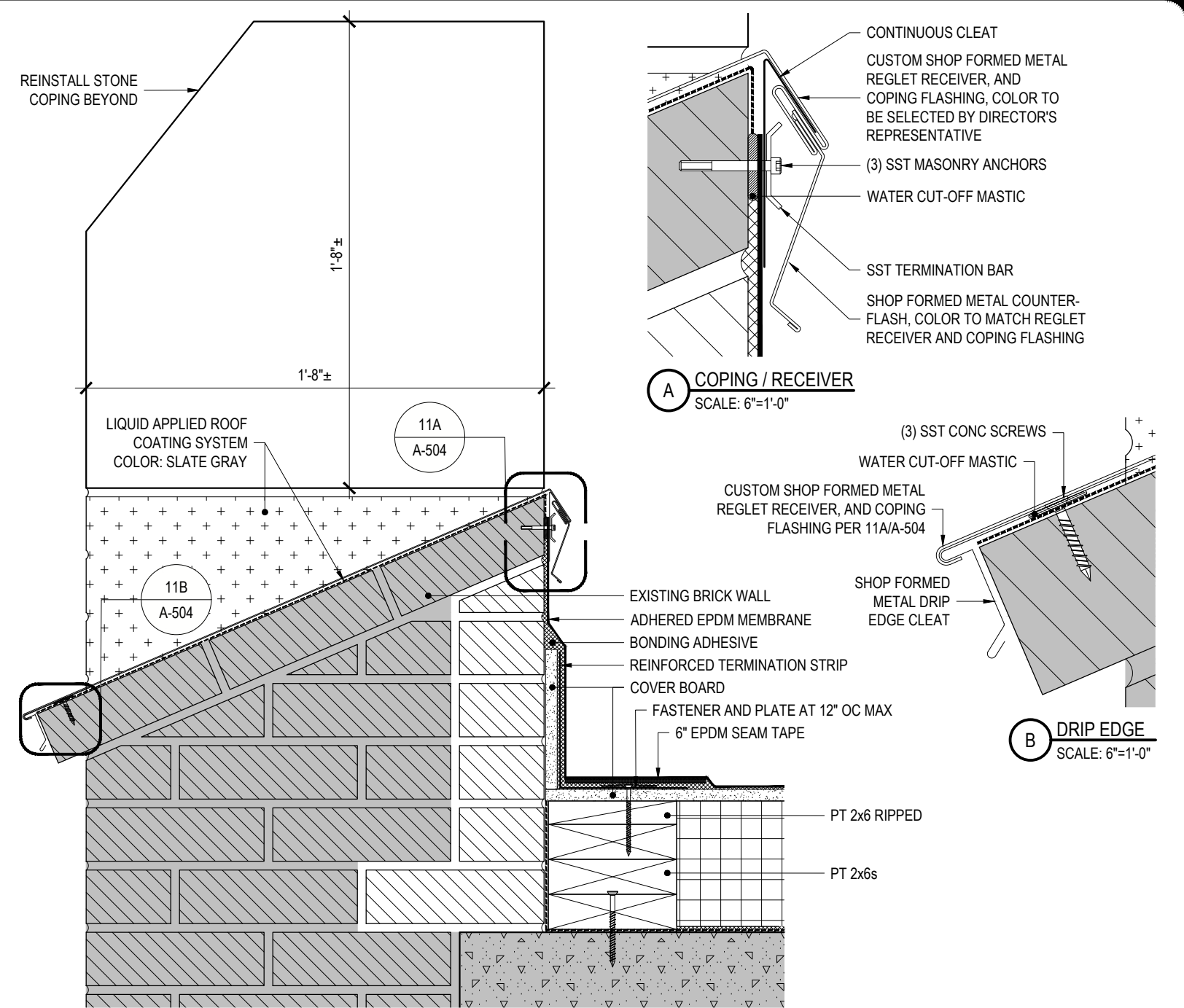
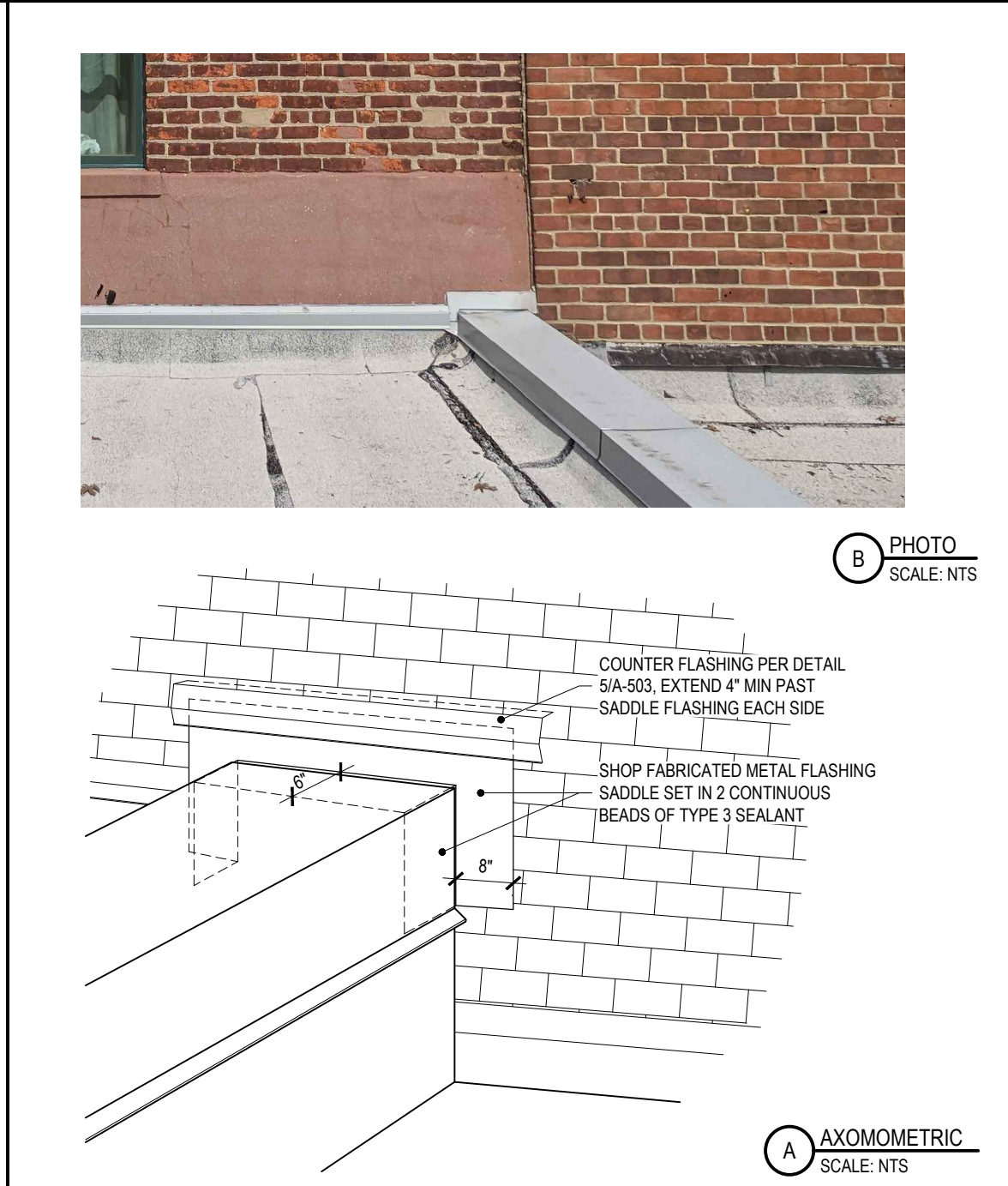
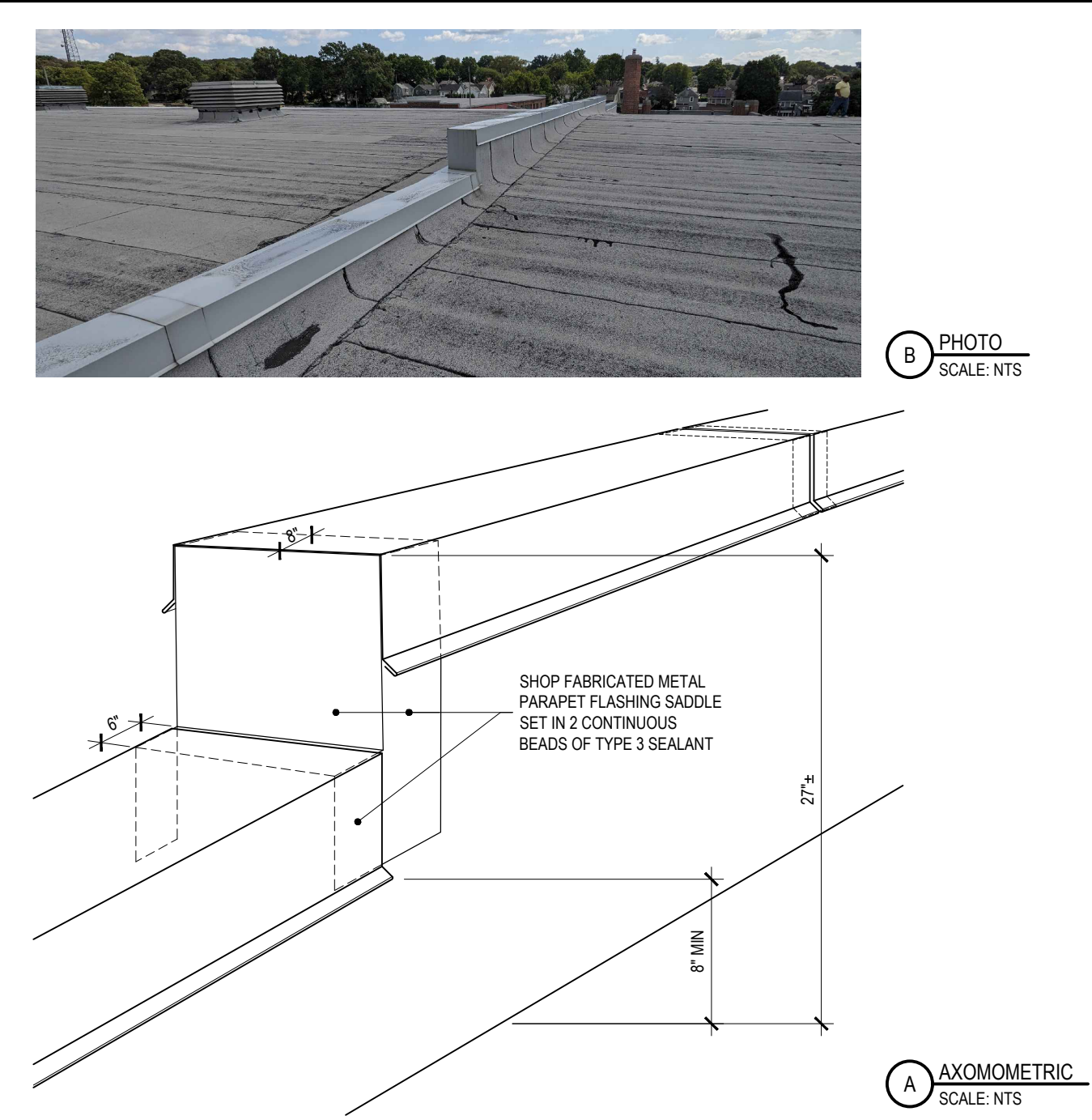
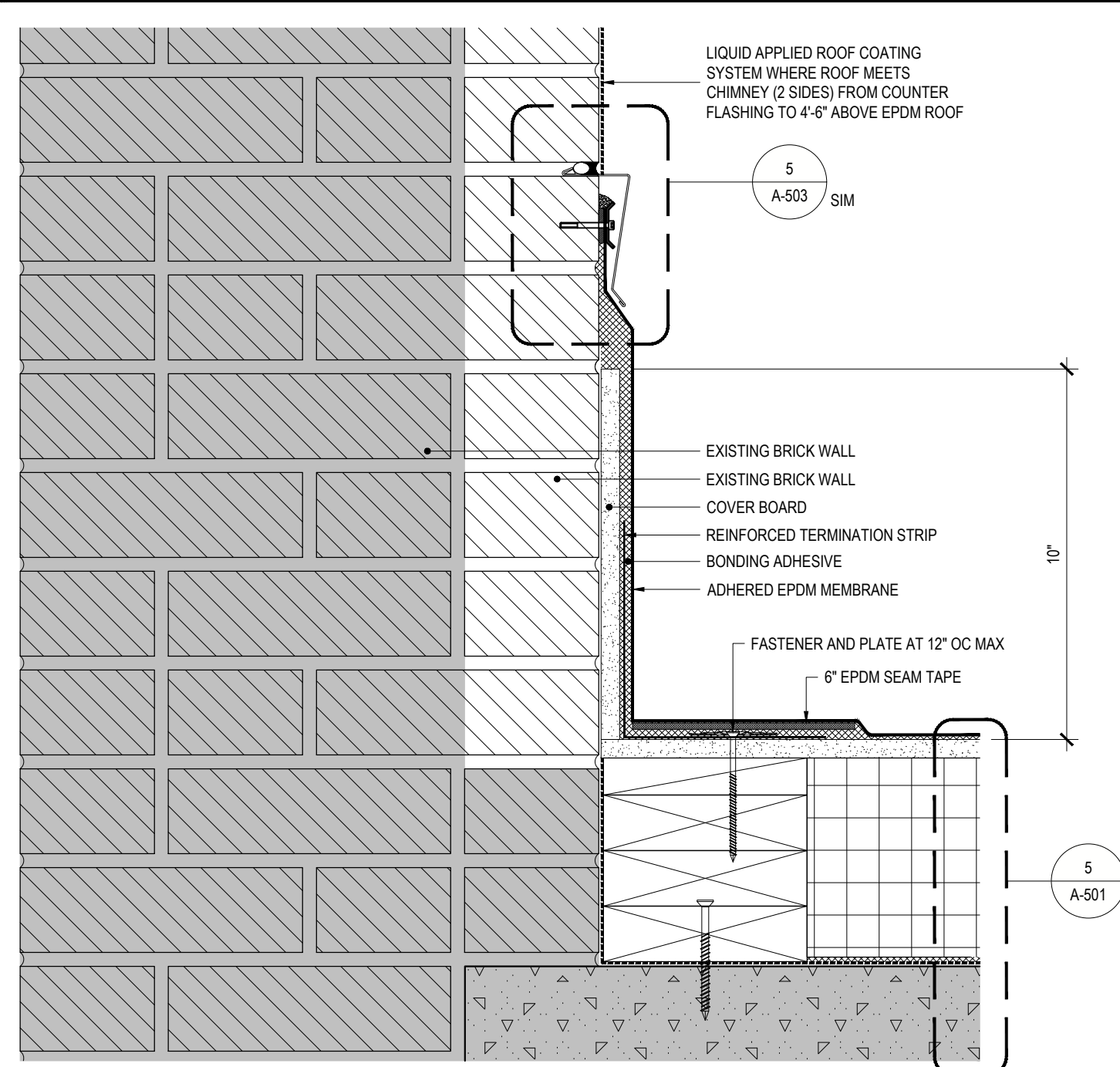


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**8 INSIDE CORNER DETAIL**  
REF: NONE SCALE: NTS



**1 ROOF A PARAPET WALL REMOVAL**  
REF: 3/A-101 SCALE: 3" = 1'-0"

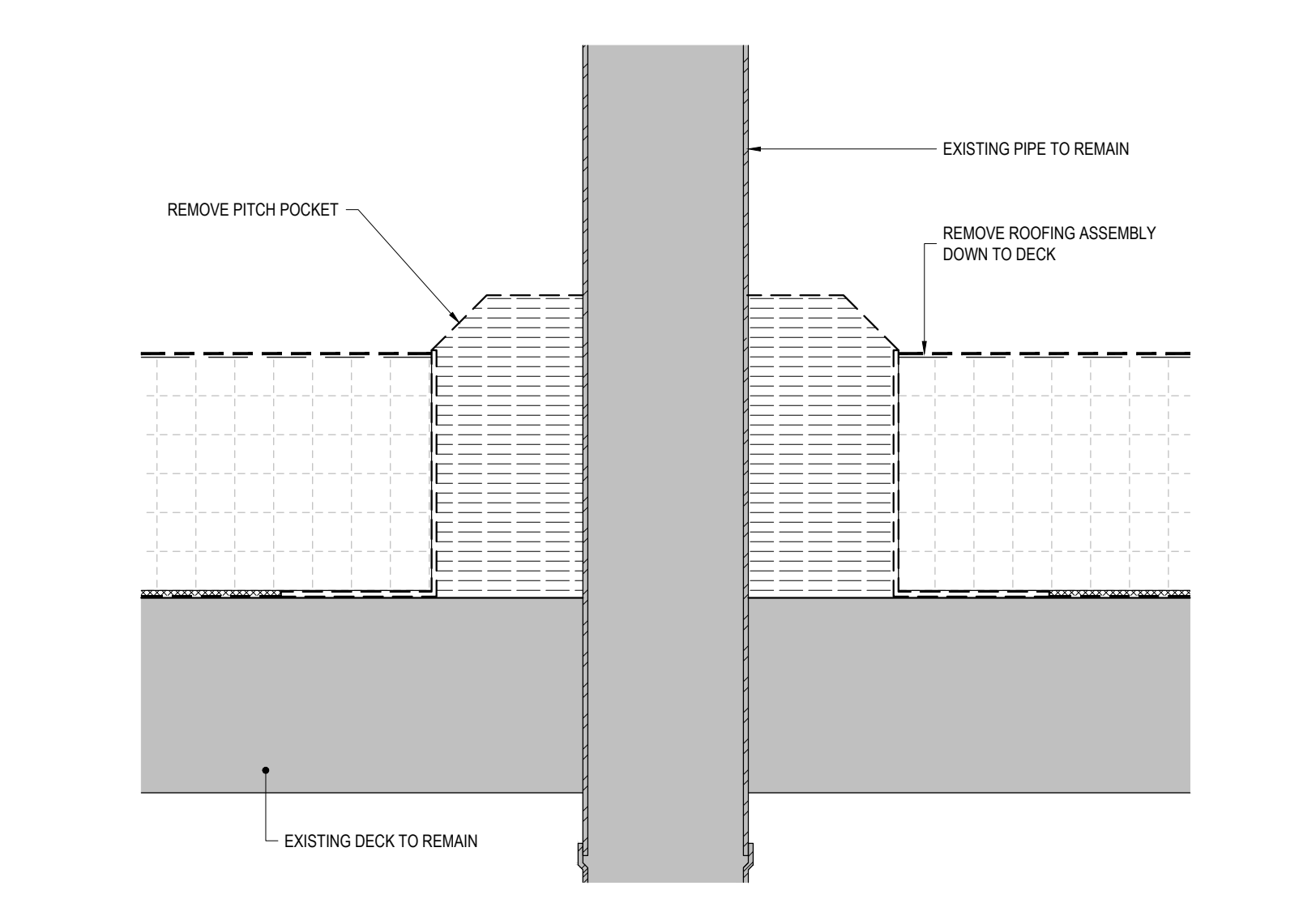
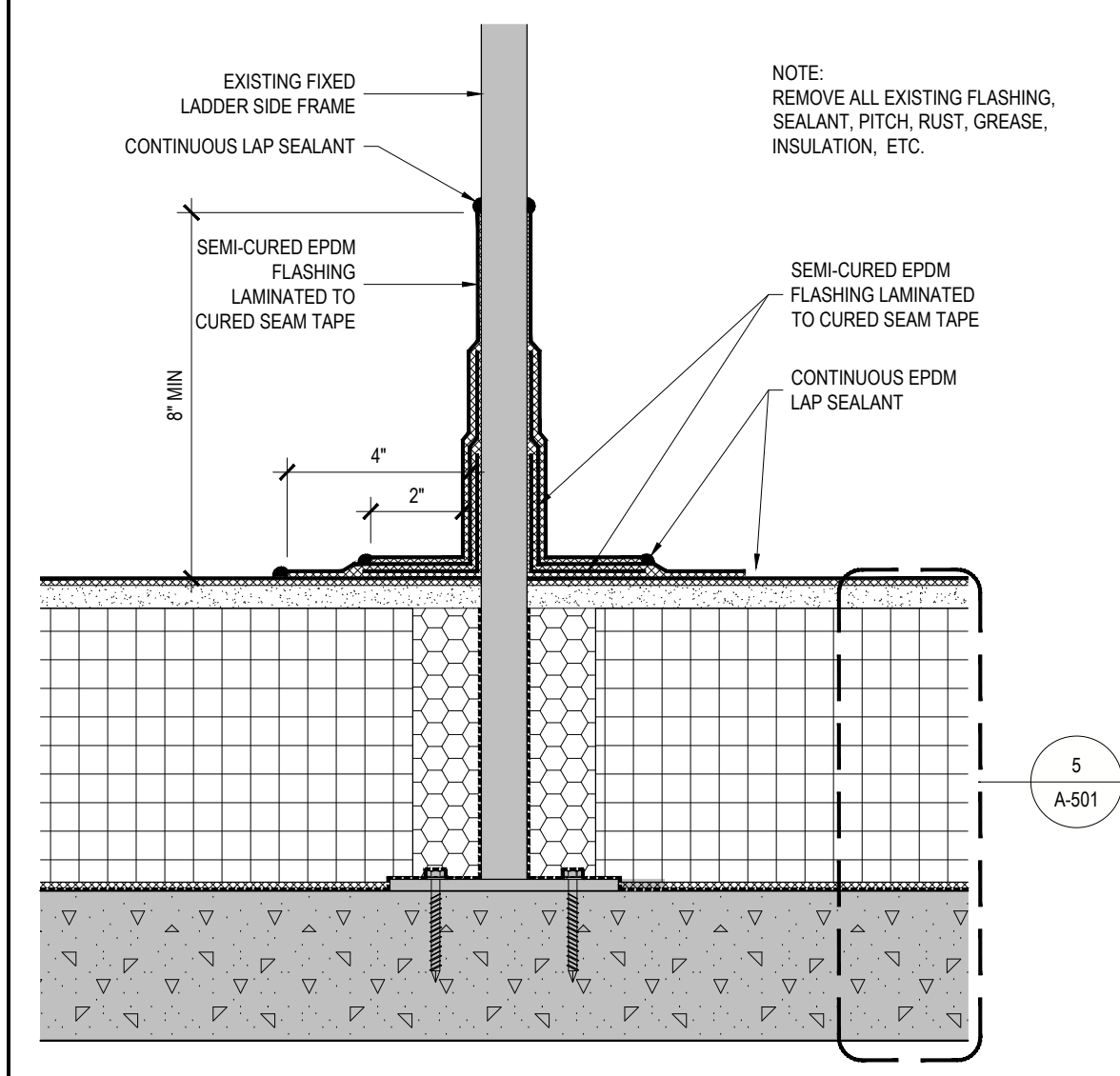
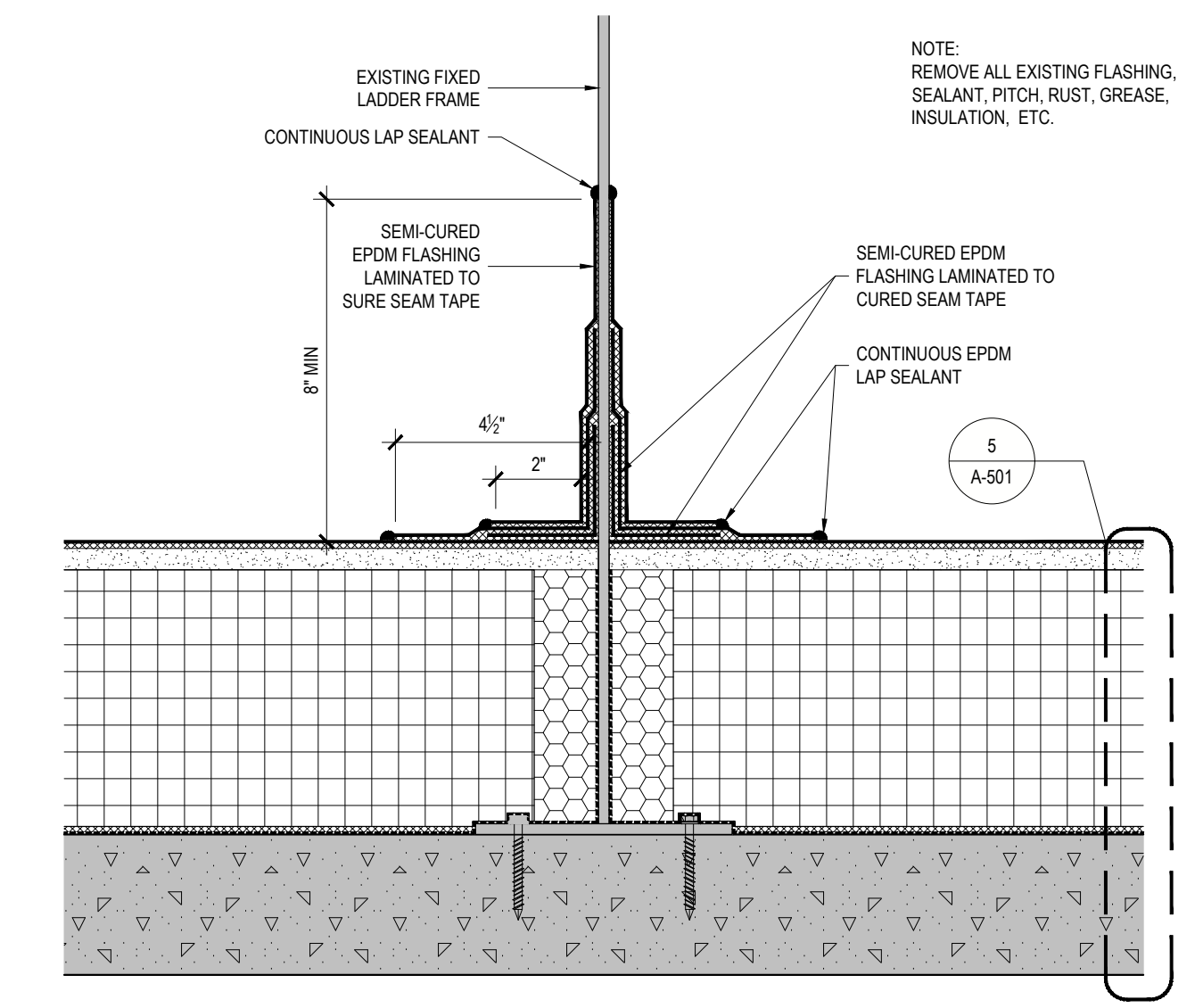
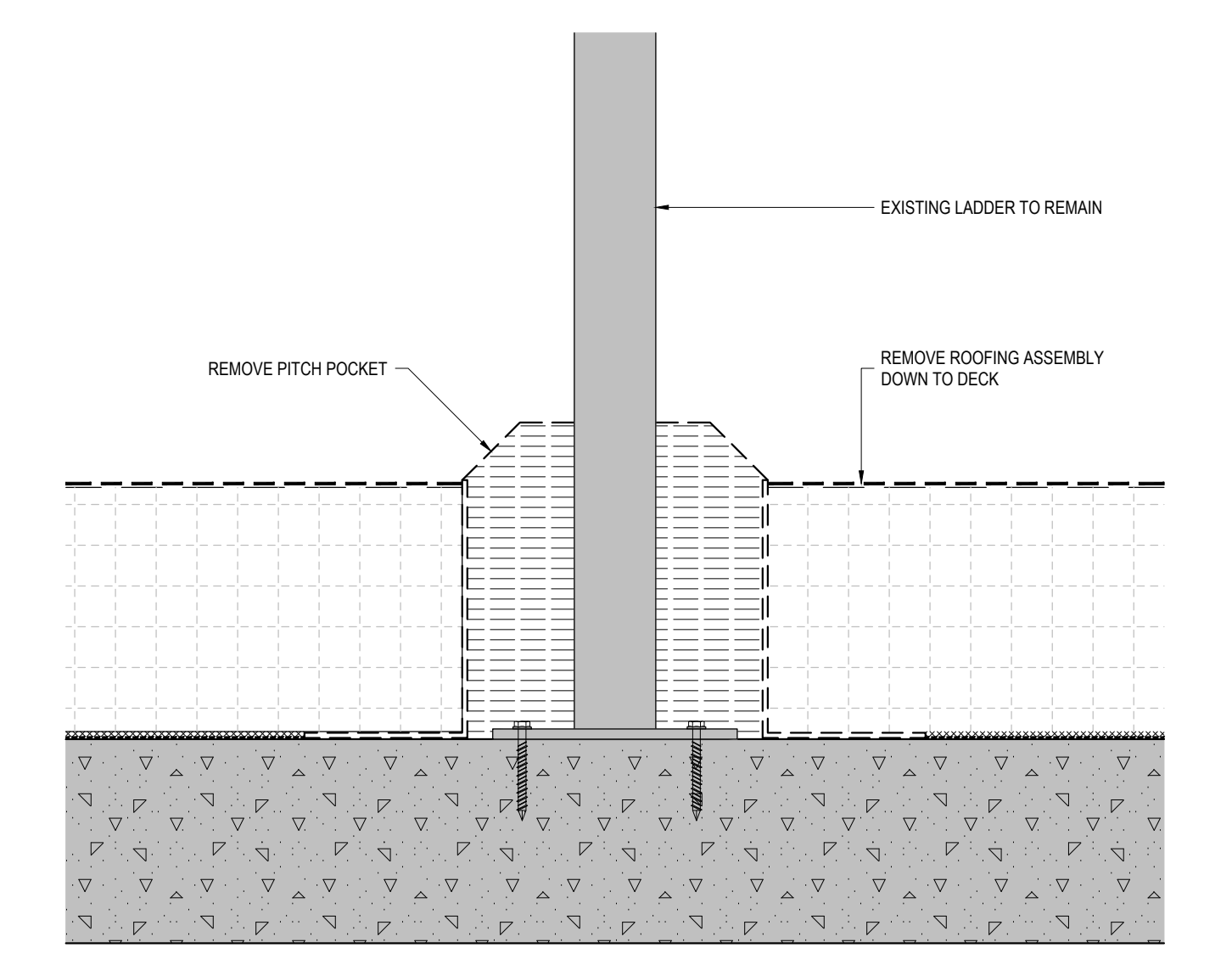


**8 BASE FLASHING**  
REF: 1/A-102 SCALE: 3" = 1'-0"  
**ALTERNATE No. 1**

**9 BUILDING EXPANSION JOINT STEP**  
REF: 1/A-001, 4/A-101 SCALE: NTS

**10 PARAPET TO WALL FLASHING**  
REF: 1/A-001, SCALE: NTS

**11 CRENEL FLASHING**  
REF: 4/A-101 SCALE: 2" = 1'-0"

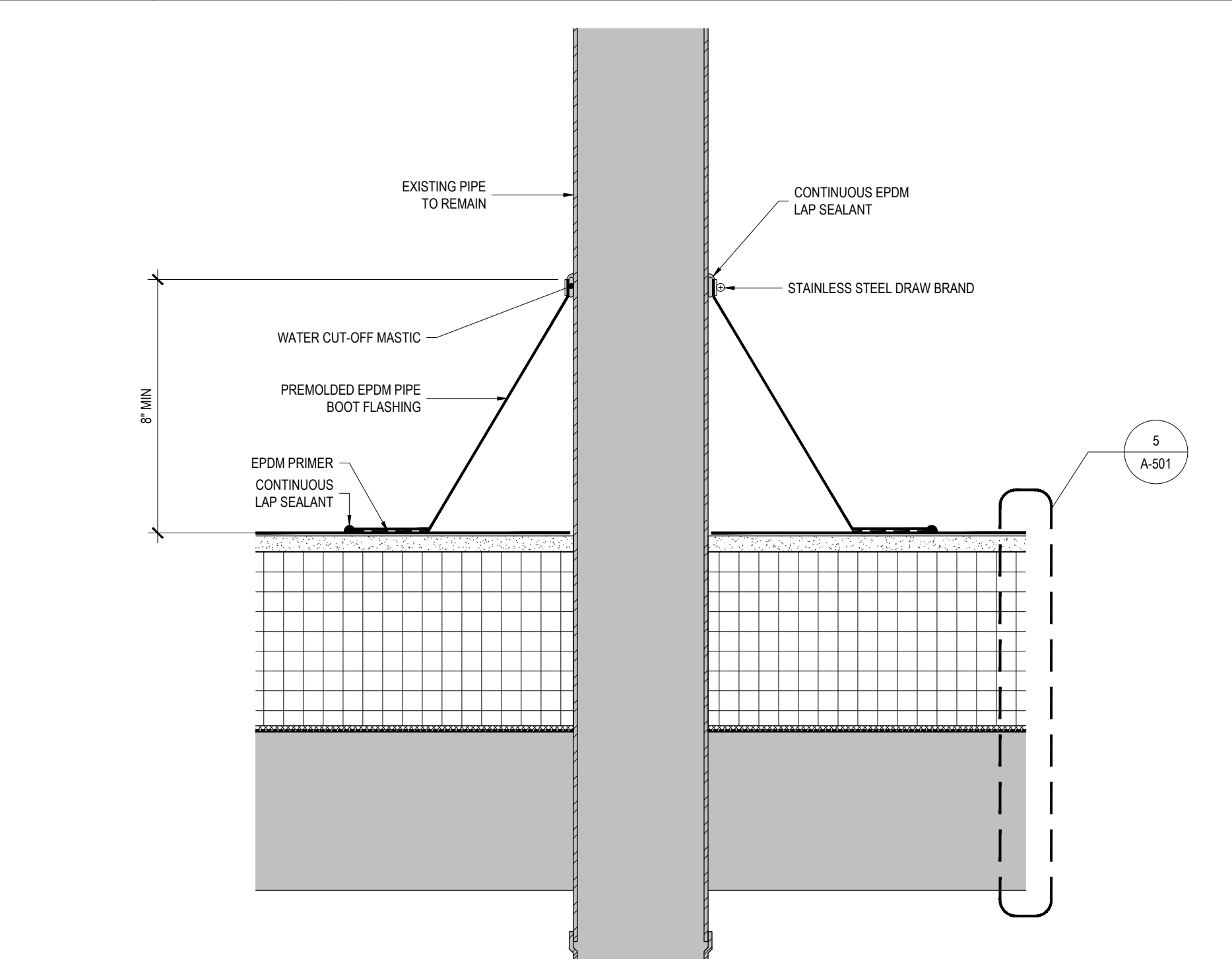
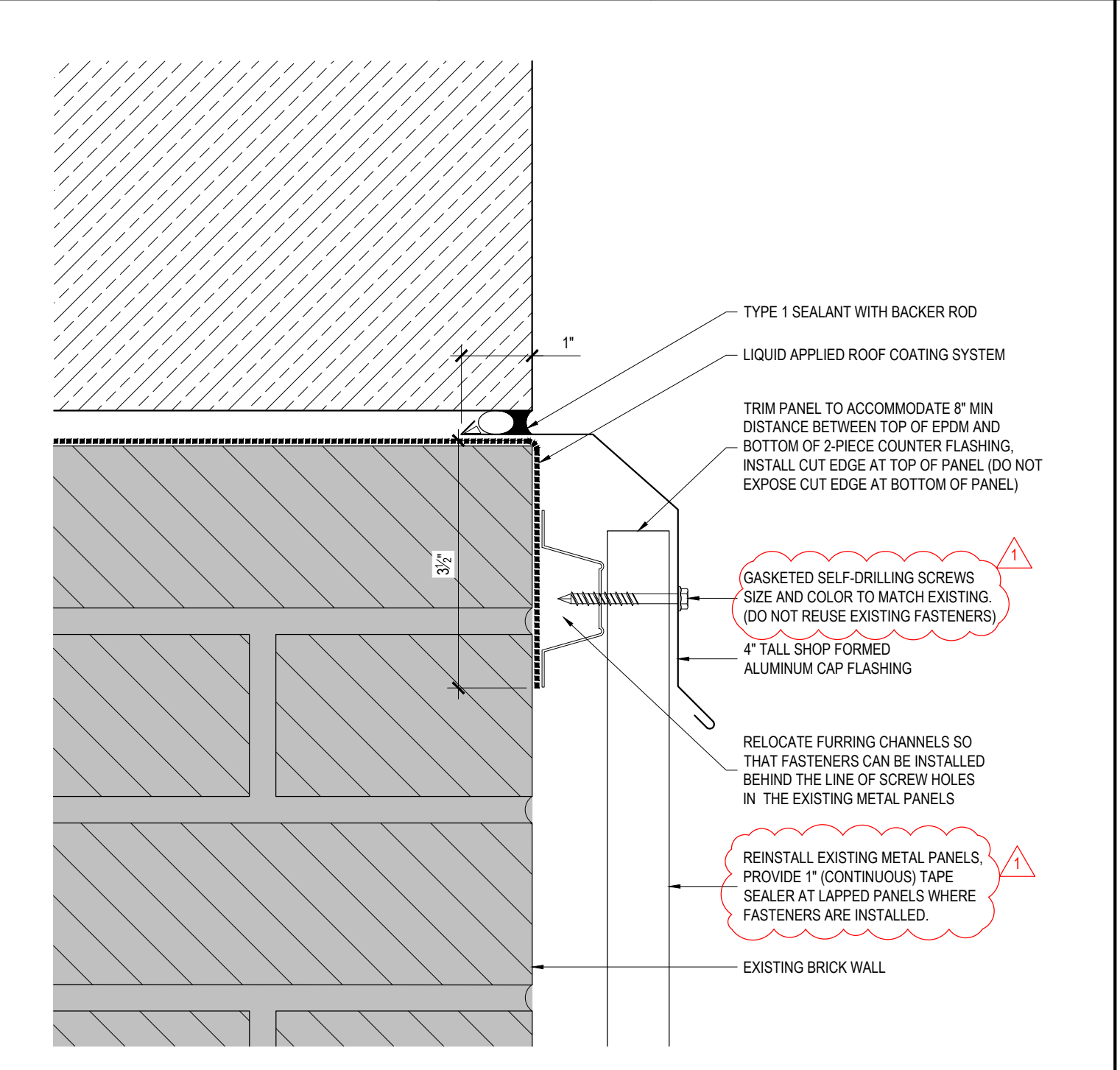
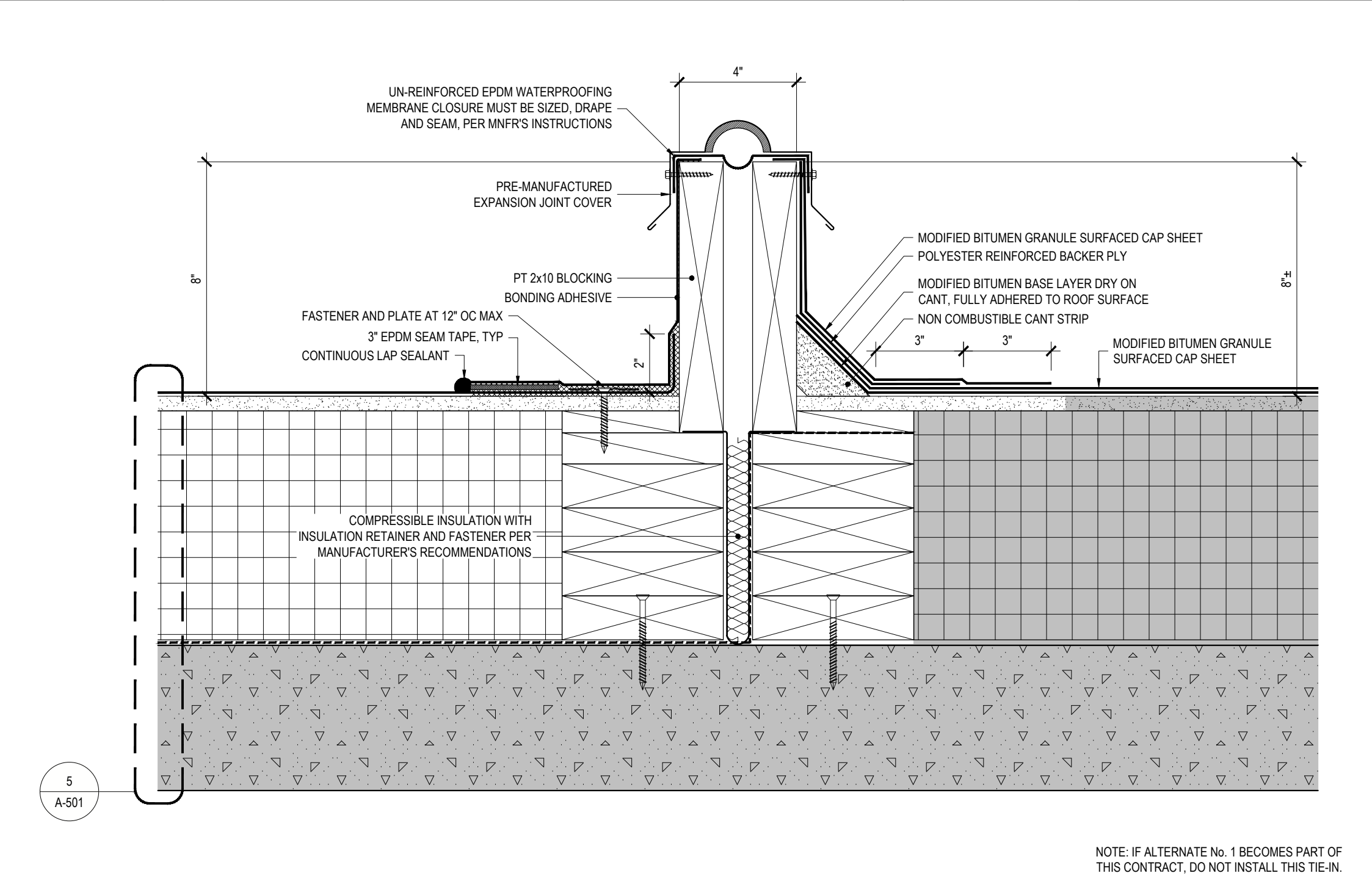


**4 LADDER PITCH POCKET REMOVAL**  
REF: 3/A-010, 1/A-011 SCALE: 3" = 1'-0"

**5 FIELD FABRICATED FLASHING**  
REF: 4/A-101, 1/A-102 SCALE: 3" = 1'-0"

**6 FIELD FABRICATED FLASHING**  
REF: 4/A-101, 1/A-102 SCALE: 3" = 1'-0"

**7 PIPE PENETRATION PITCH POCKET REMOVAL**  
REF: 3/A-010, 1/A-011 SCALE: 3" = 1'-0"



**1 ROOF AREA C EPDM TO EXISTING MODIFIED BITUMEN TIE-IN**  
REF: 1/A-102 SCALE: 3" = 1'-0"

**2 COUNTER FLASHING AT CORRUGATED METAL PANEL**  
REF: 2/A-502 SCALE: 6" = 1'-0"

**3 PIPE BOOT FLASHING DETAIL**  
REF: A-101, A-102 SCALE: 3" = 1'-0"

**NEW YORK STATE** Office of General Services  
DESIGN & CONSTRUCTION

CONSULTANT  
CERTIFICATE OF AUTHORIZATION No.: 0019551

**SPRING LINE DESIGN**  
ARCHITECTURE + ENGINEERING

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**REGISTERED ARCHITECT**  
KRISTIN KNICKERBOCKER  
STATE OF NEW YORK  
REGISTRATION EXPIRES: 12/31/2026

**CONTRACT: CONSTRUCTION**  
TITLE: REPAIR ROOF STATE ARMYORY  
LOCATION: BUILDING No. 71 321 MANOR ROAD STATEN ISLAND, NY  
CLIENT: DIVISION OF MILITARY AND NAVAL AFFAIRS

**REVISED DRAWING 08/07/2024**

MARK	DATE	DESCRIPTION
▲	08/07/2024	ADDENDUM 1
▲	05/24/2024	BID DOCUMENT


PROJECT NUMBER: **47599 - C**  
DESIGNED BY: KK  
DRAWN BY: SS  
FIELD CHECK:  
APPROVED:  
SHEET TITLE: **ROOF DETAILS**  
DRAWING NUMBER: **A-504**  
SHEET 16 OF 20

36x24 PLOT SHEET

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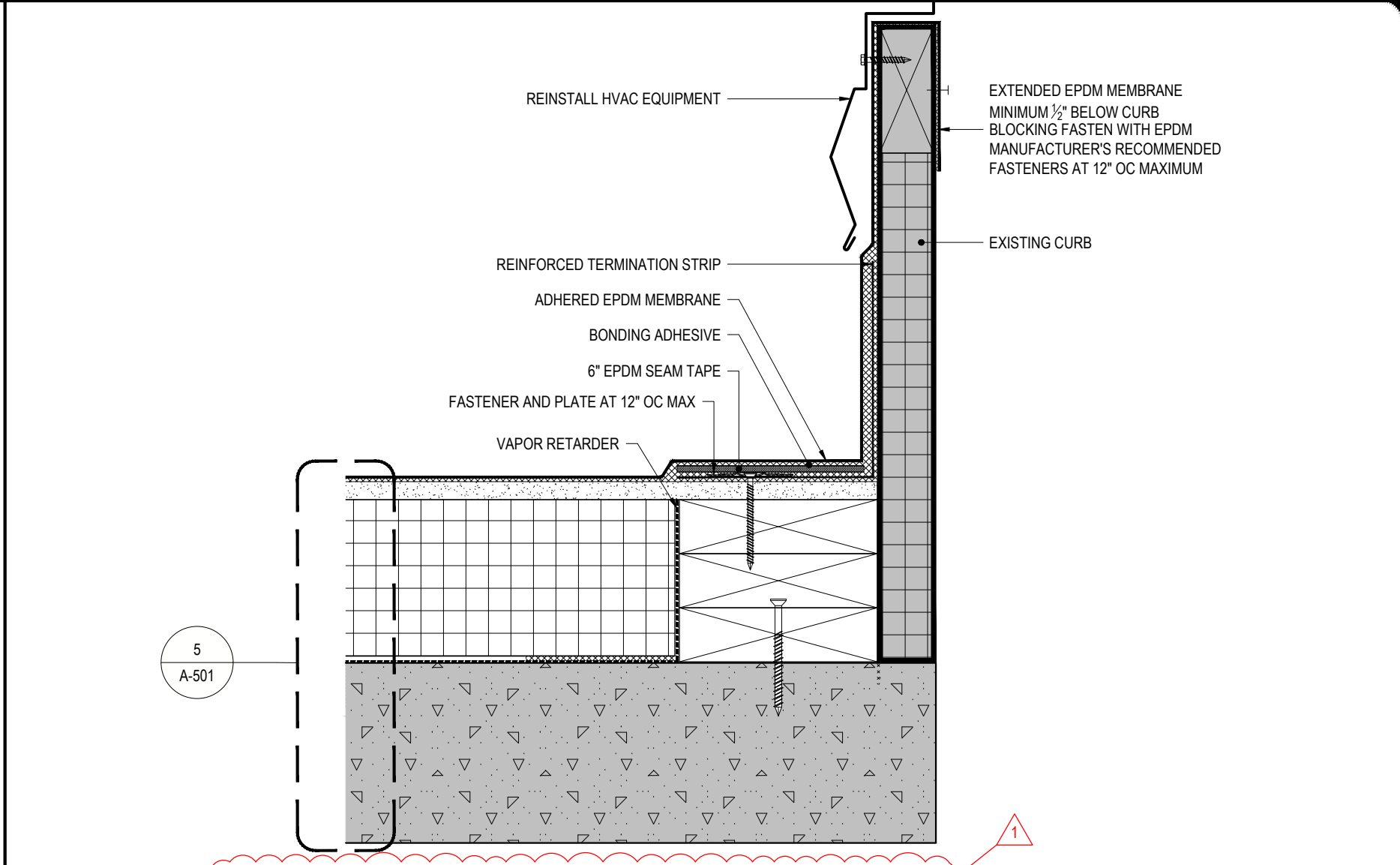
  
REGISTRATION EXPIRES: 12/31/2026

**CONSTRUCTION**  
TITLE: REPAIR ROOF STATE ARMY  
LOCATION: BUILDING No. 71 321 MANOR ROAD STATEN ISLAND, NY  
CLIENT: DIVISION OF MILITARY AND NAVAL AFFAIRS

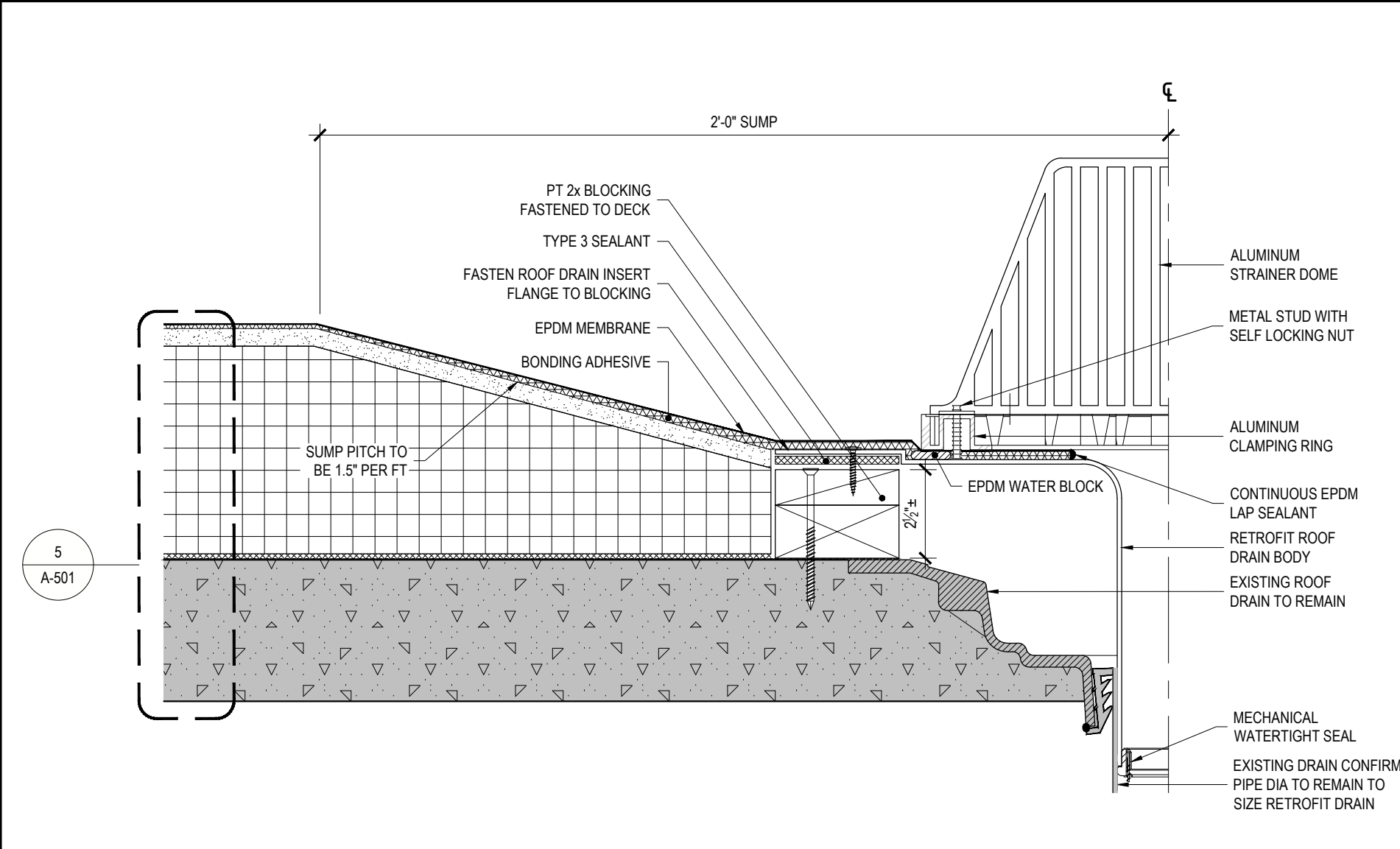
**REVISED DRAWING 08/07/2024**

MARK	DATE	DESCRIPTION
△	08/07/2024	ADDENDUM 1
	05/24/2024	BID DOCUMENT

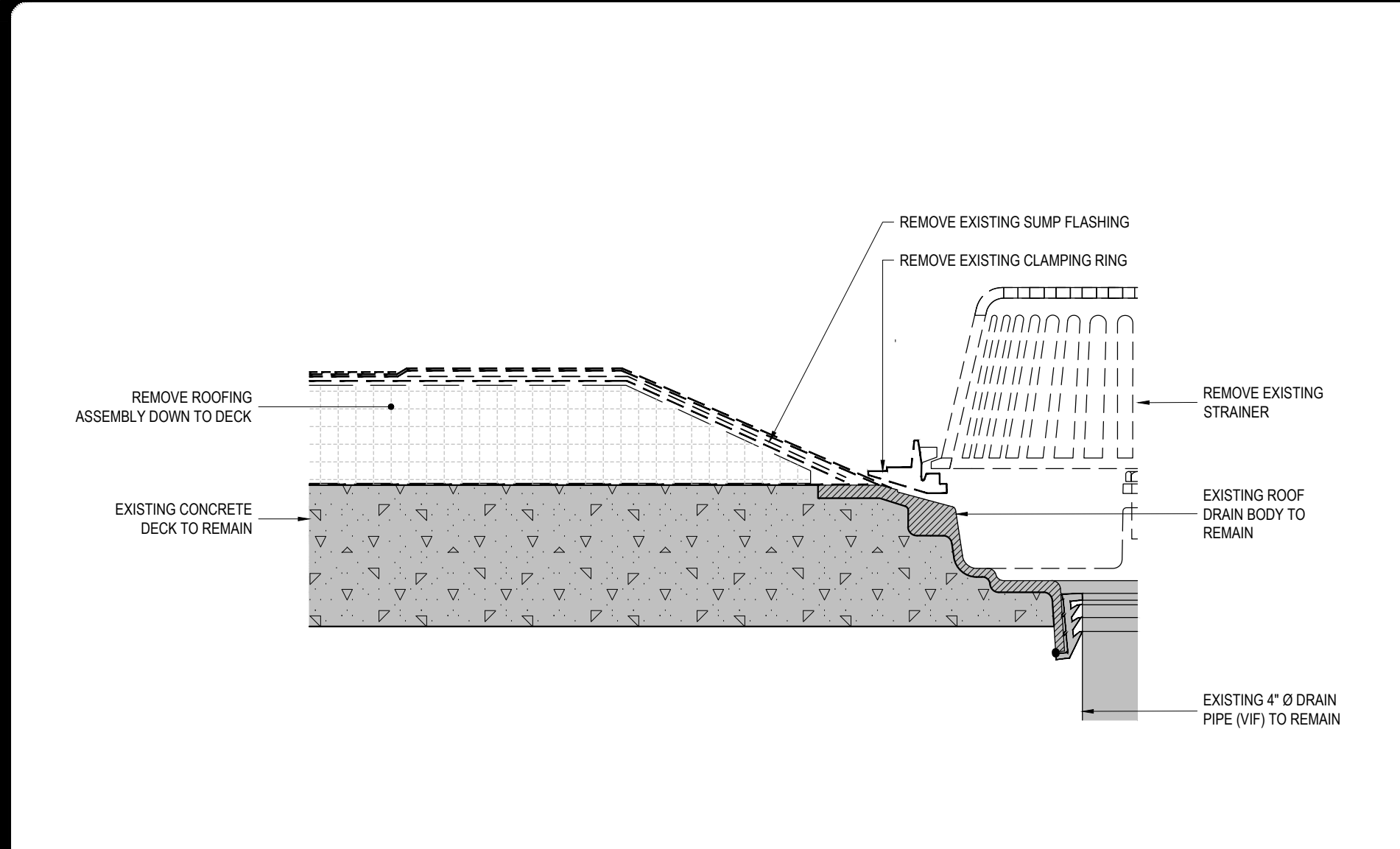
PROJECT NUMBER: 47599 - C  
DESIGNED BY: KK  
DRAWN BY: SS  
FIELD CHECK:  
APPROVED:  
SHEET TITLE: **ROOF DETAILS**  
DRAWING NUMBER: **A-505**  
SHEET 17 OF 20



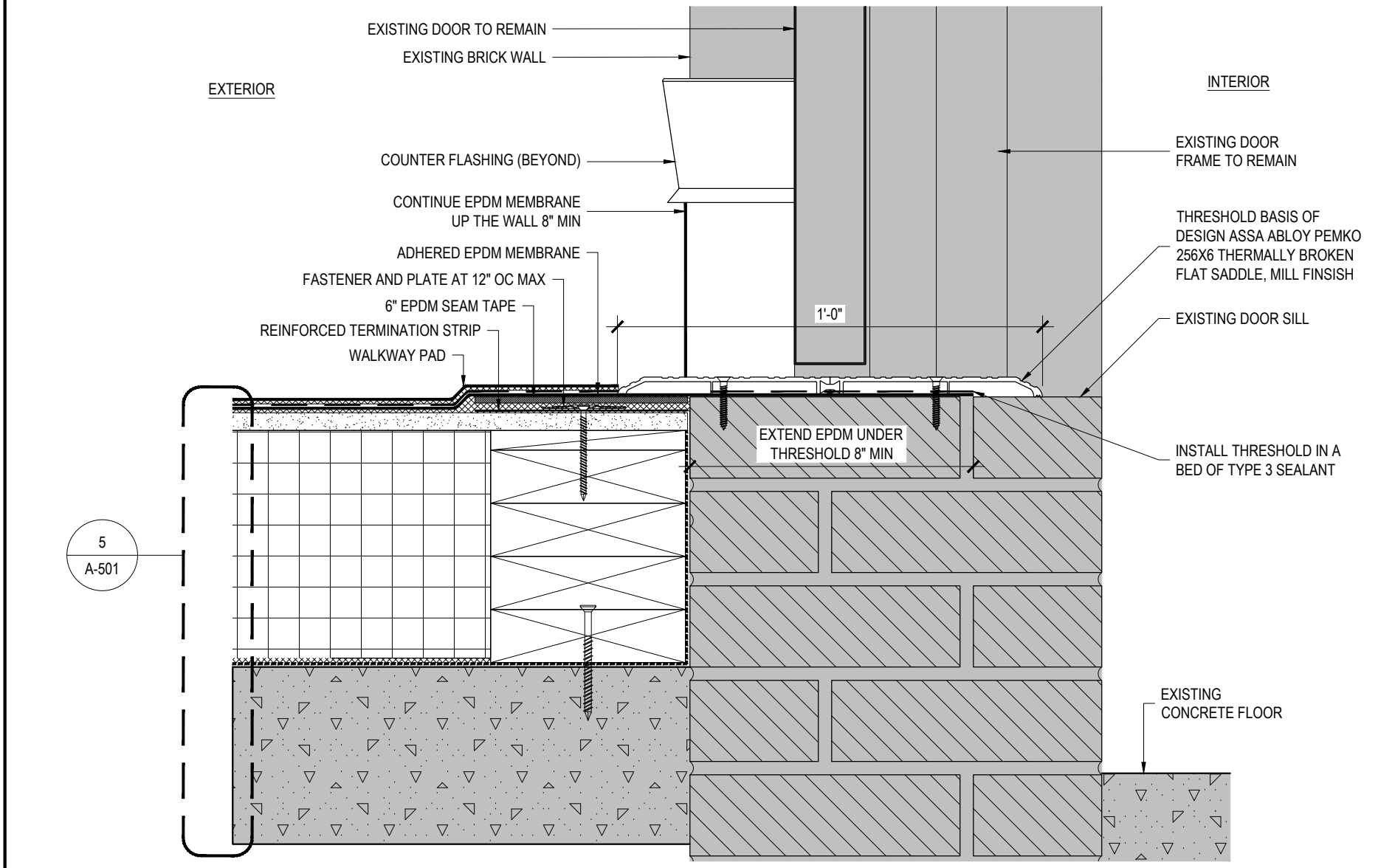
10 TYPICAL EXISTING EQUIPMENT CURB DETAIL  
REF: A-102 SCALE: 3" = 1'-0"



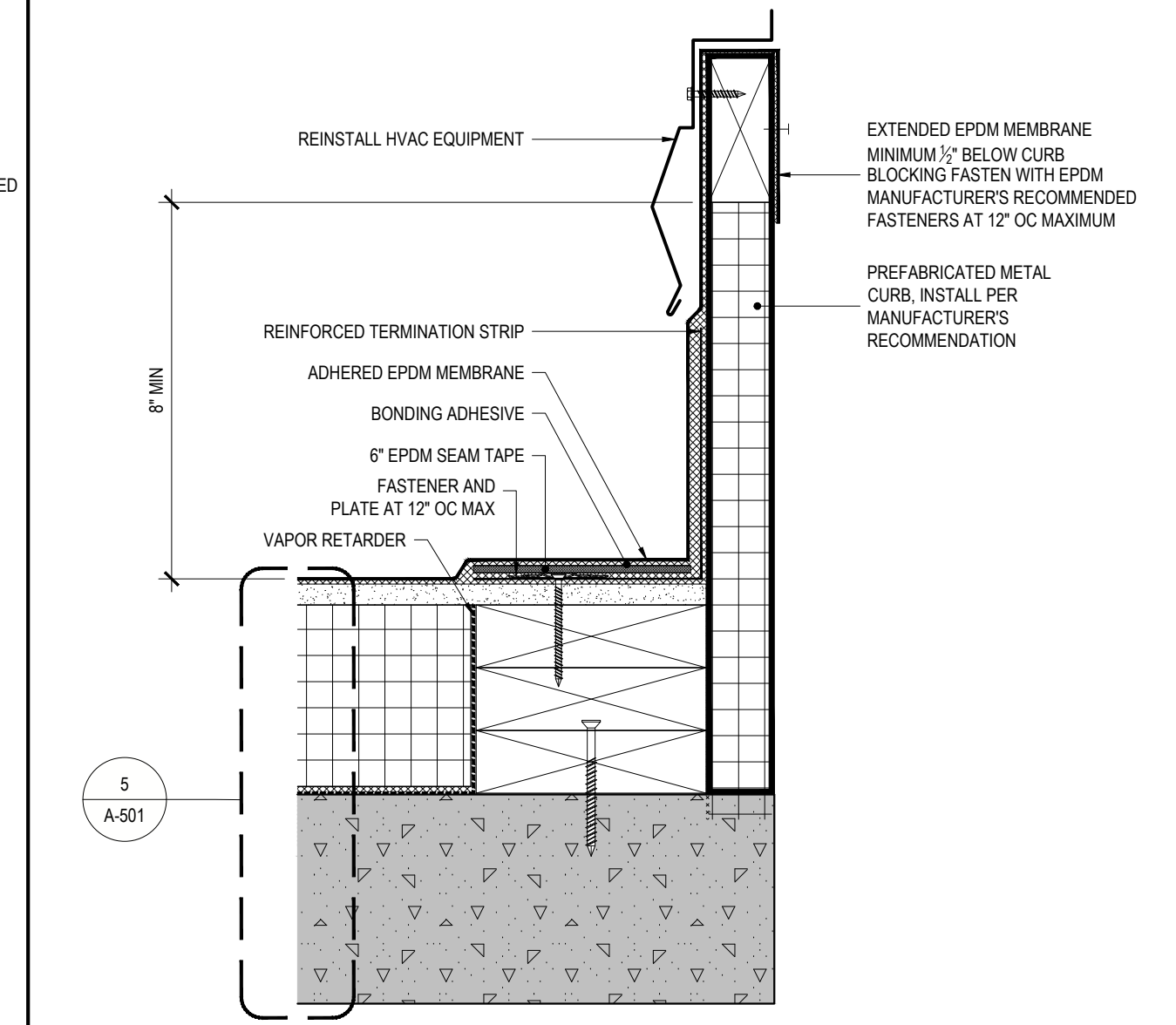
9 TYPICAL ROOF DRAIN DETAIL  
REF: A-101, A-102 SCALE: 3" = 1'-0"



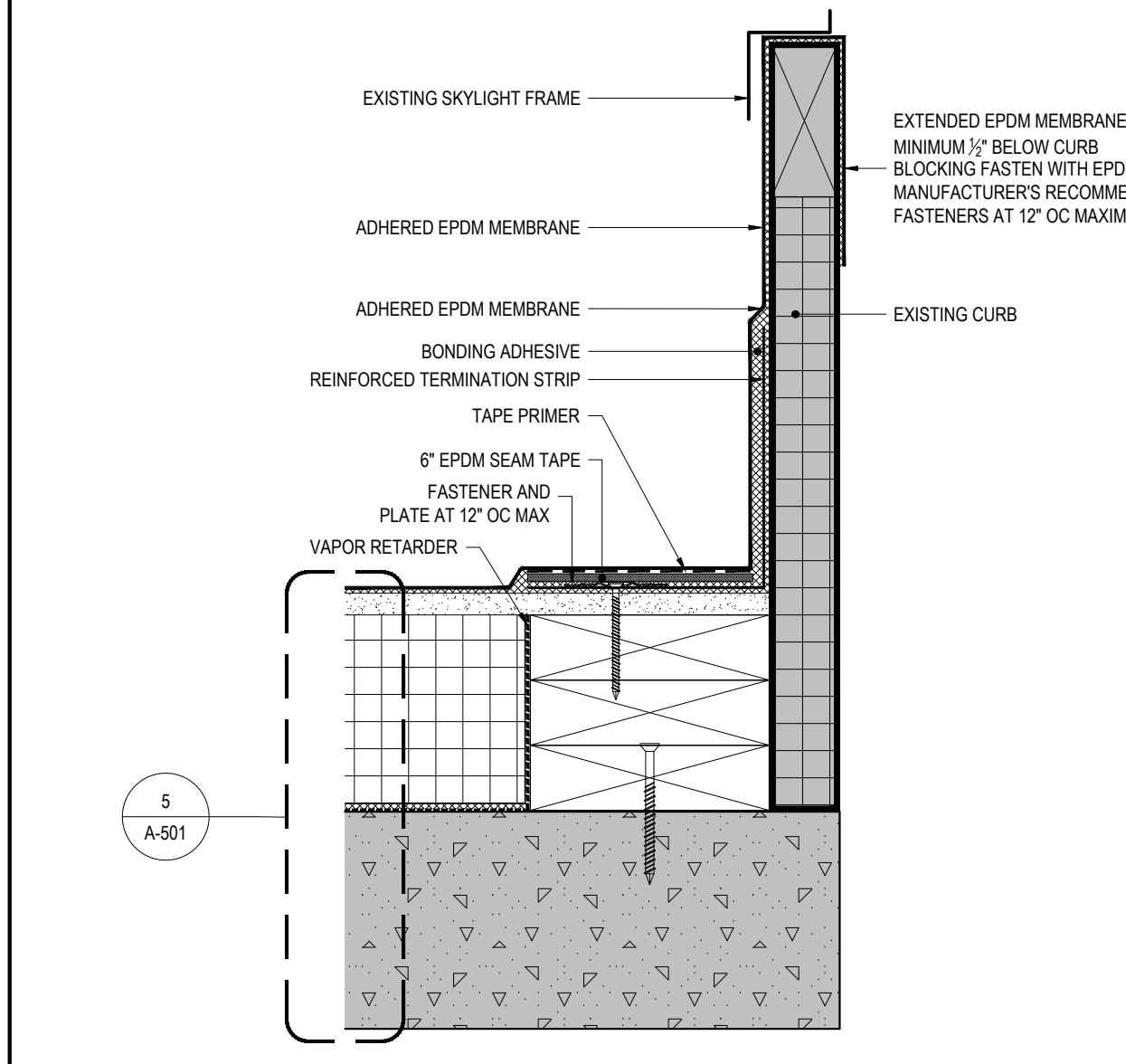
8 TYPICAL ROOF DRAIN REMOVAL  
REF: A-010, A-011 SCALE: 3" = 1'-0"



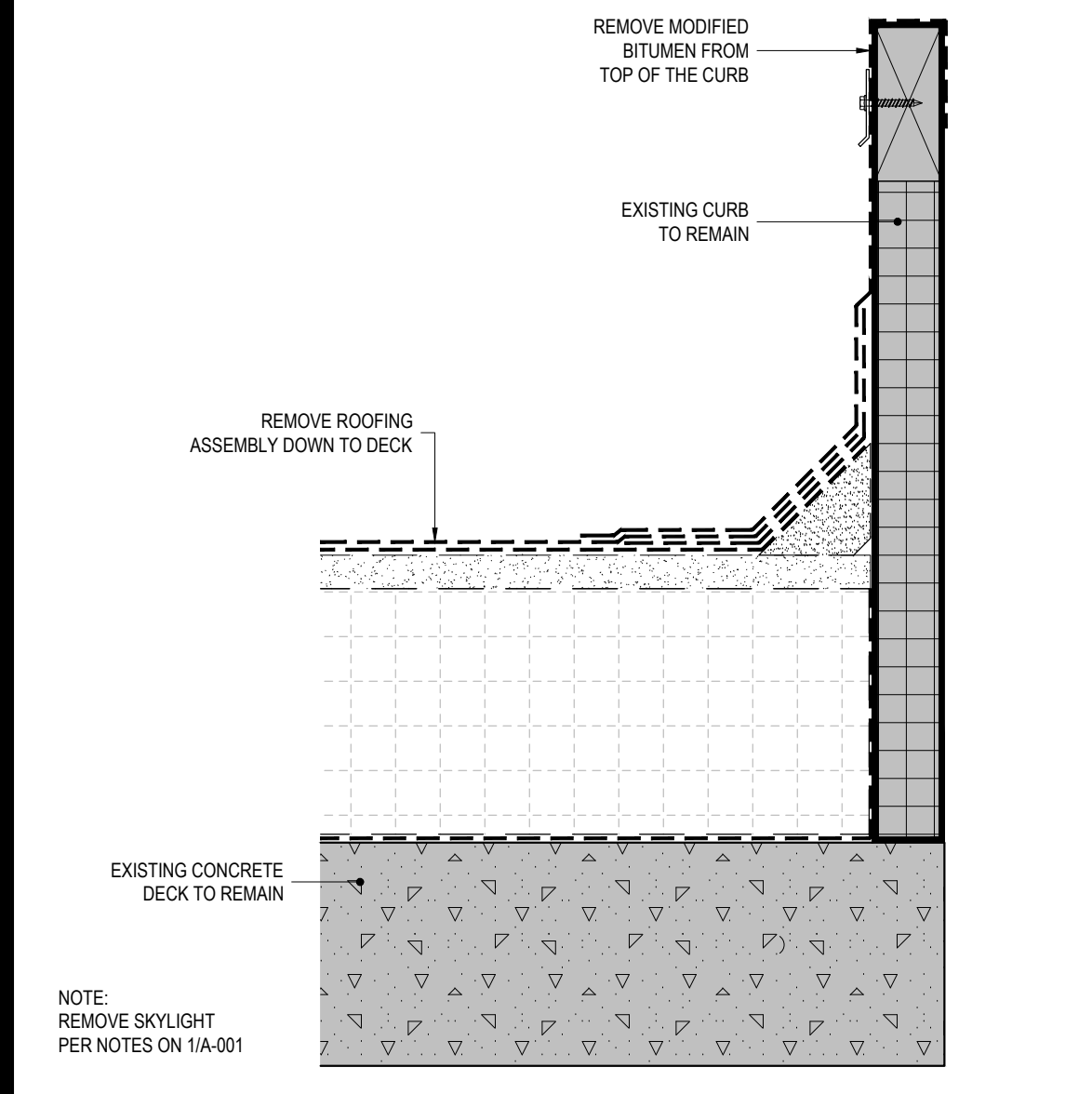
7 ROOF AREA C EXIT DOOR THRESHOLD DETAIL  
REF: 1/A-102 SCALE: 3" = 1'-0"



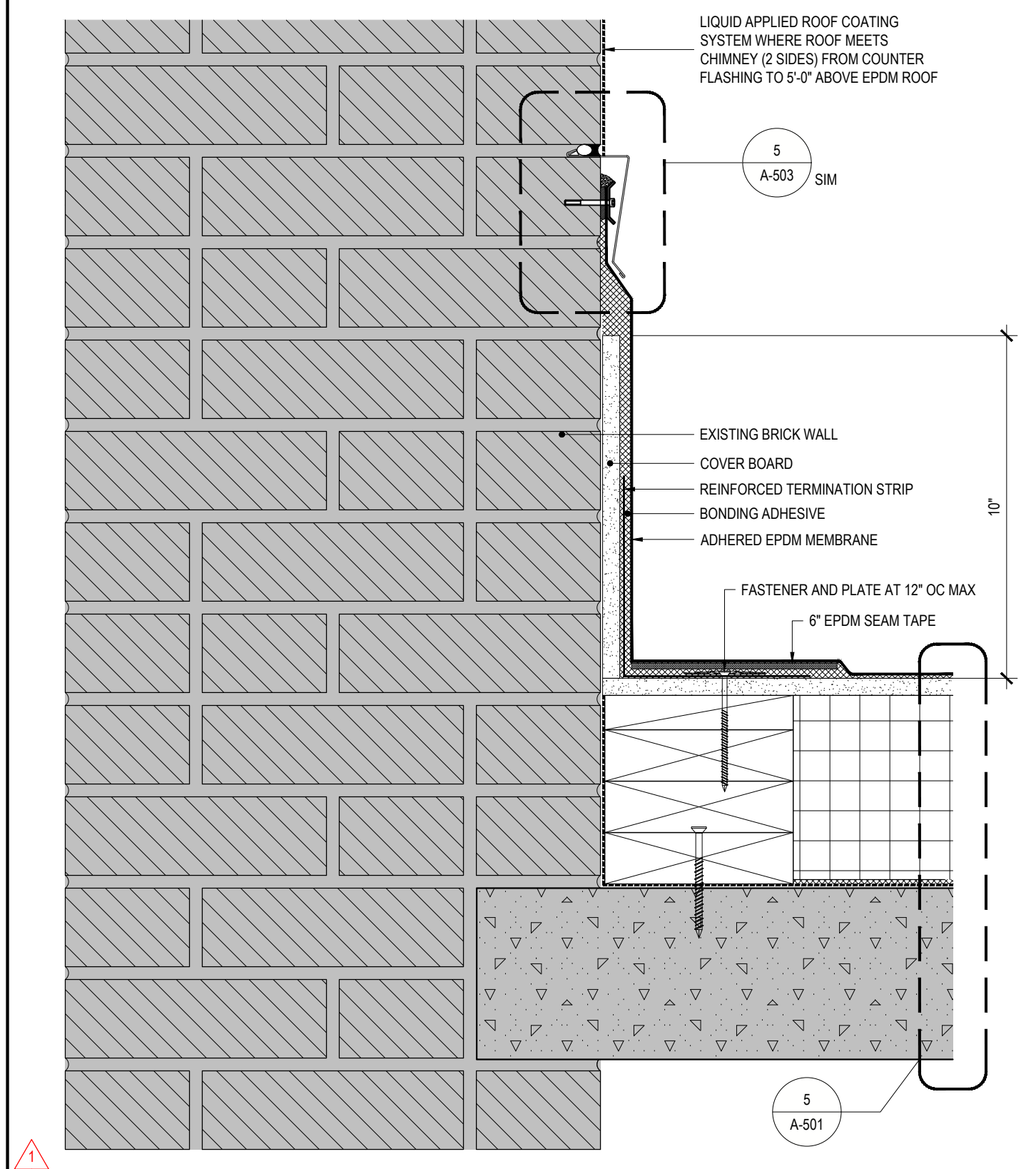
6 TYPICAL EQUIPMENT CURB DETAIL  
REF: 4/A-101, 1/A-102 SCALE: 3" = 1'-0"



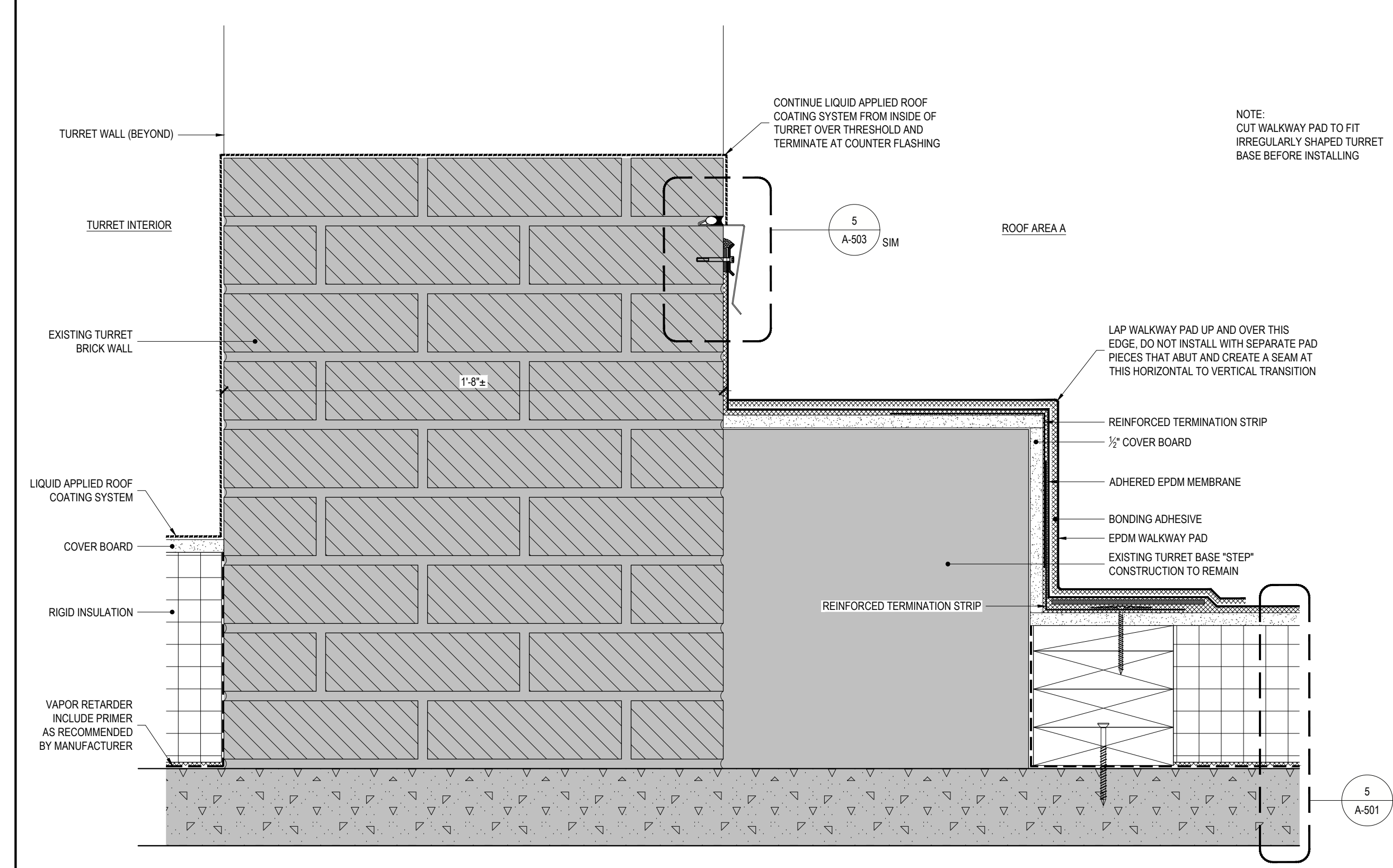
5 SKYLIGHT CURB DETAIL  
REF: 1/A-102 SCALE: 3" = 1'-0"



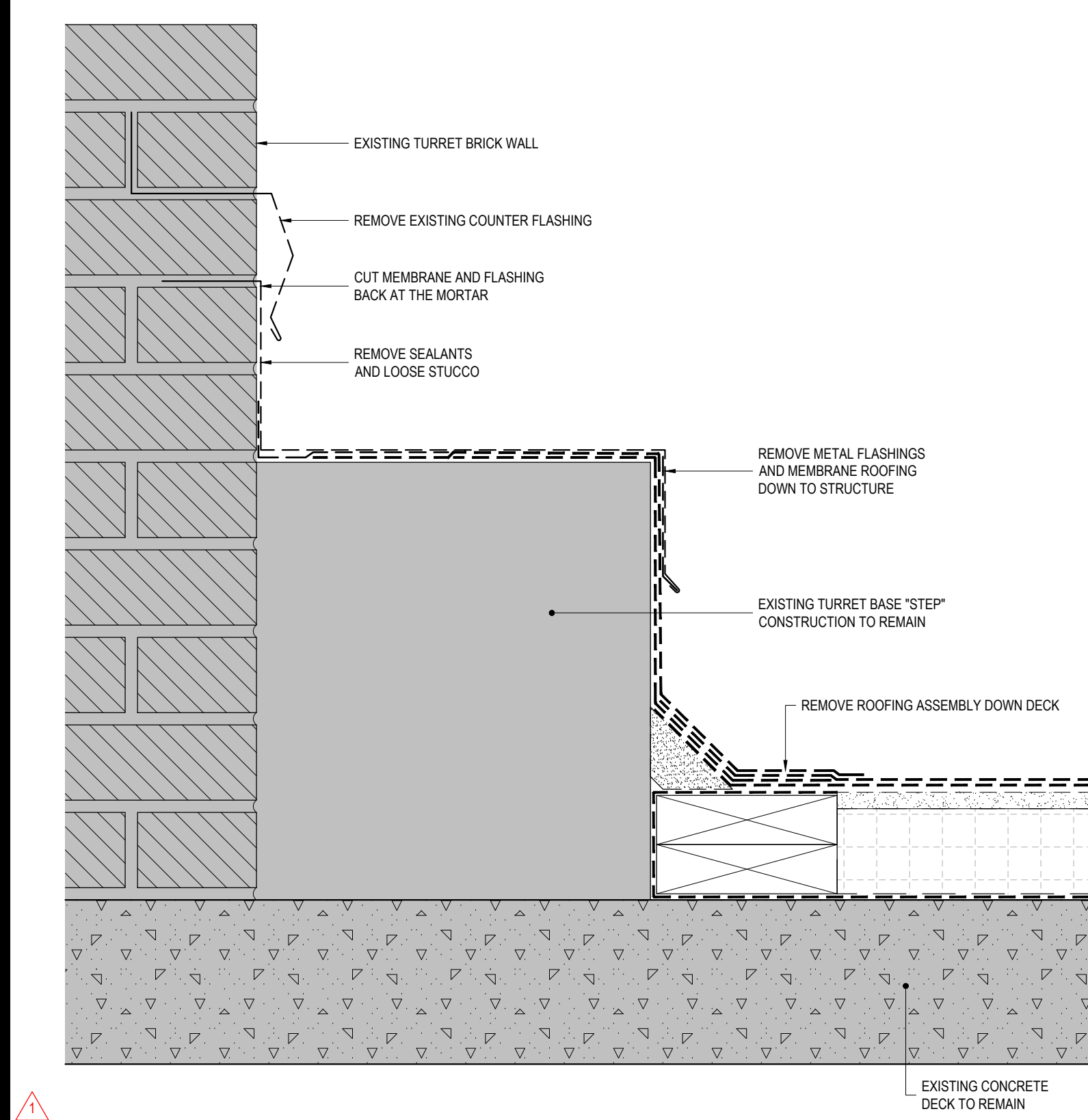
4 REMOVES AT SKYLIGHT CURB  
REF: 1/A-011 SCALE: 3" = 1'-0"



3 ROOF C.1 CHIMNEY BASE DETAIL  
REF: 3/A-102 SCALE: 3" = 1'-0"



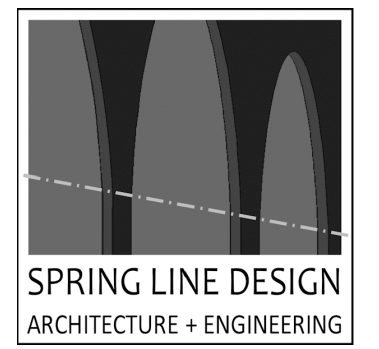
2 ROOF A TURRET BASE DETAIL  
REF: 3/A-101 SCALE: 3" = 1'-0"



1 ROOF A TURRET BASE REMOVAL  
REF: 3/A-010 SCALE: 3" = 1'-0"

36x24 PLOT SHEET

CONSULTANT  
CERTIFICATE OF AUTHORIZATION No.: 0019551



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REGISTRATION EXPIRES: 12/31/2026

**CONSTRUCTION**

TITLE: REPAIR ROOF STATE ARMYORY

LOCATION: BUILDING No. 71  
321 MANOR ROAD  
STATEN ISLAND, NY

CLIENT: DIVISION OF MILITARY AND NAVAL AFFAIRS

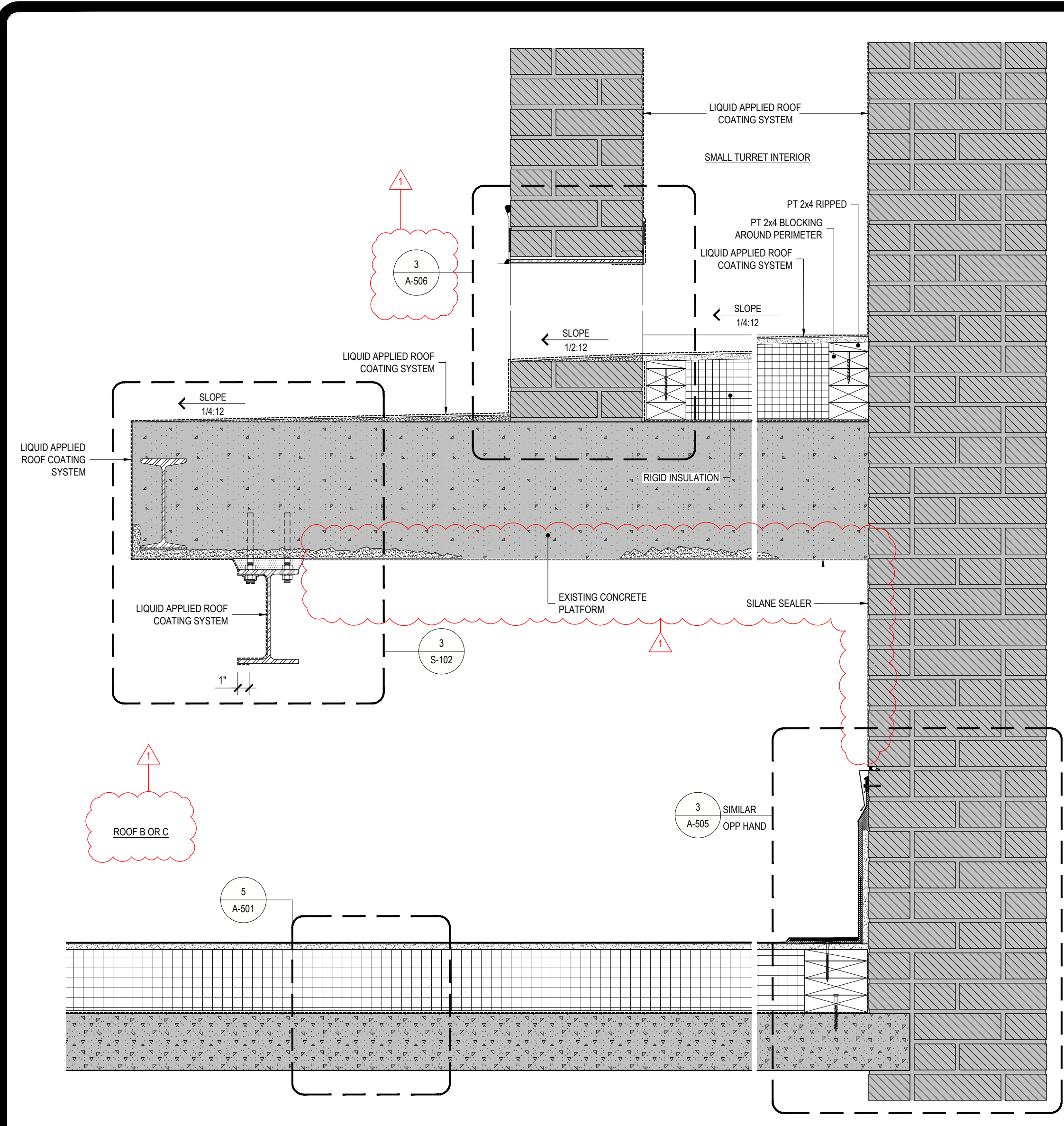
**REVISED DRAWING 08/07/2024**

MARK	DATE	DESCRIPTION
▲	08/07/2024	ADDENDUM 1
	05/24/2024	BID DOCUMENT

PROJECT NUMBER: **47599 - C**  
DESIGNED BY: KK  
DRAWN BY: SS  
FIELD CHECK:  
APPROVED:

**ROOF DETAILS**

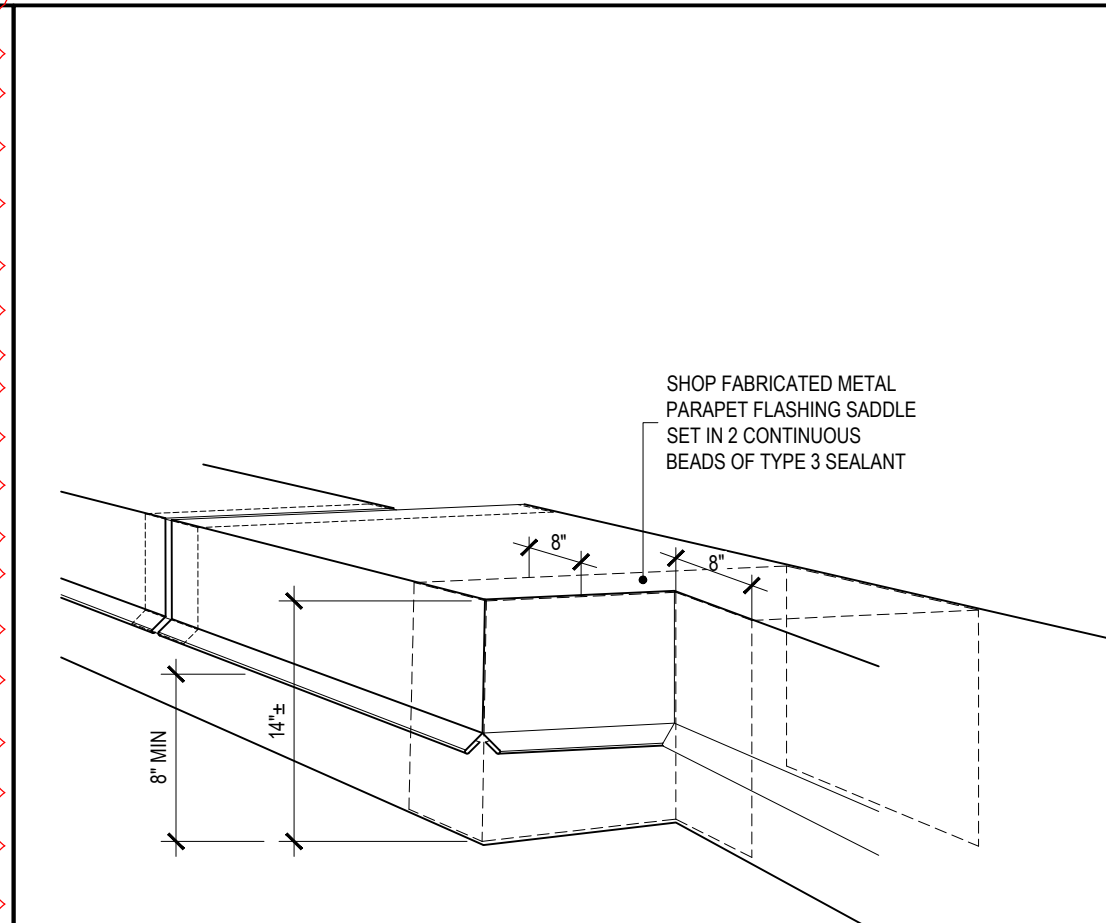
DRAWING NUMBER: **A-506**



**4 SECTION AT SMALL TURRET (ROOFS B AND C.1)**  
REF: 3/A-102 SCALE: 3" = 1'-0"



**5 TYPICAL SKYLIGHT**  
REF: SCALE: NTS

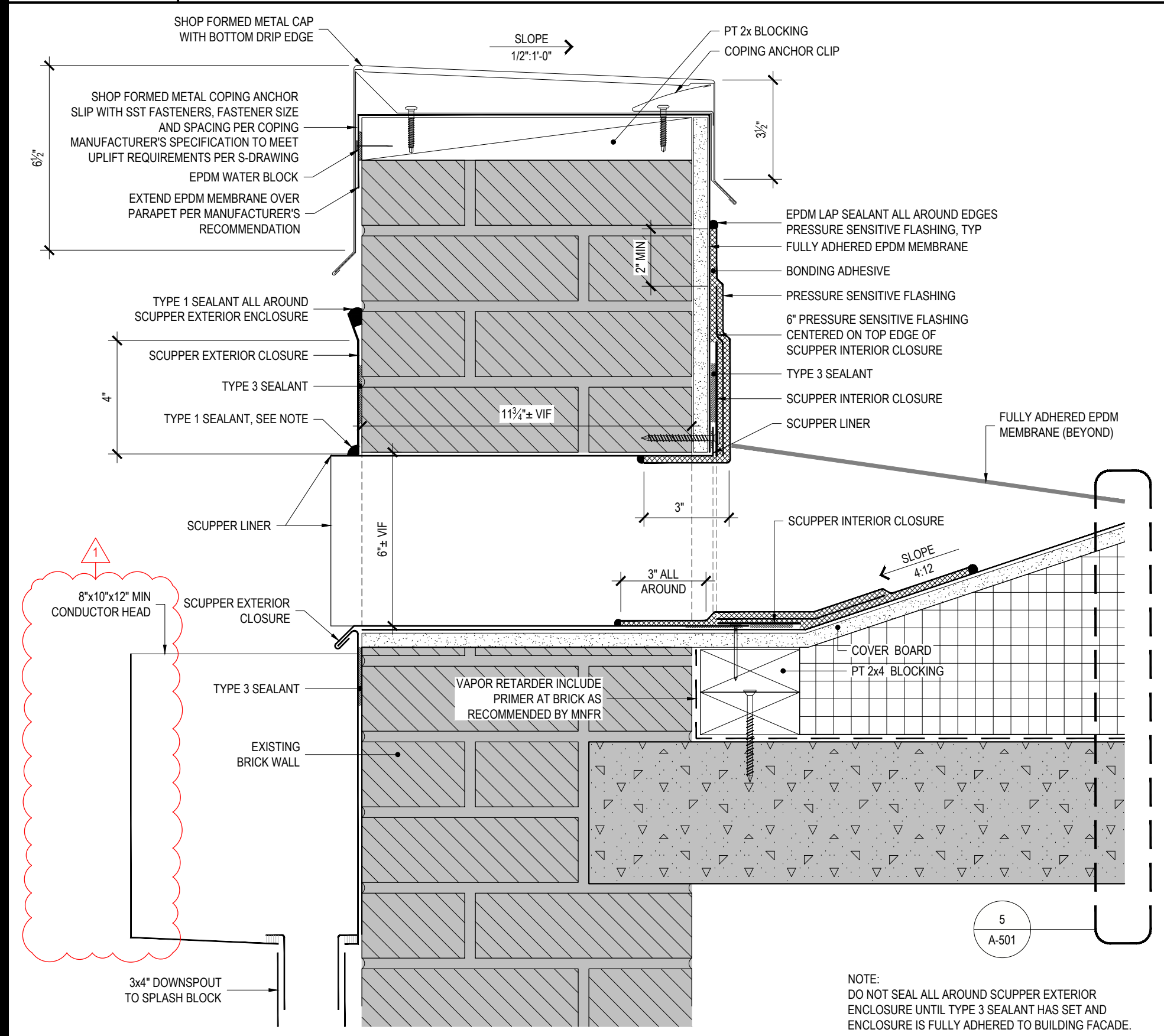


**A AXONOMETRIC SCALE: NTS**

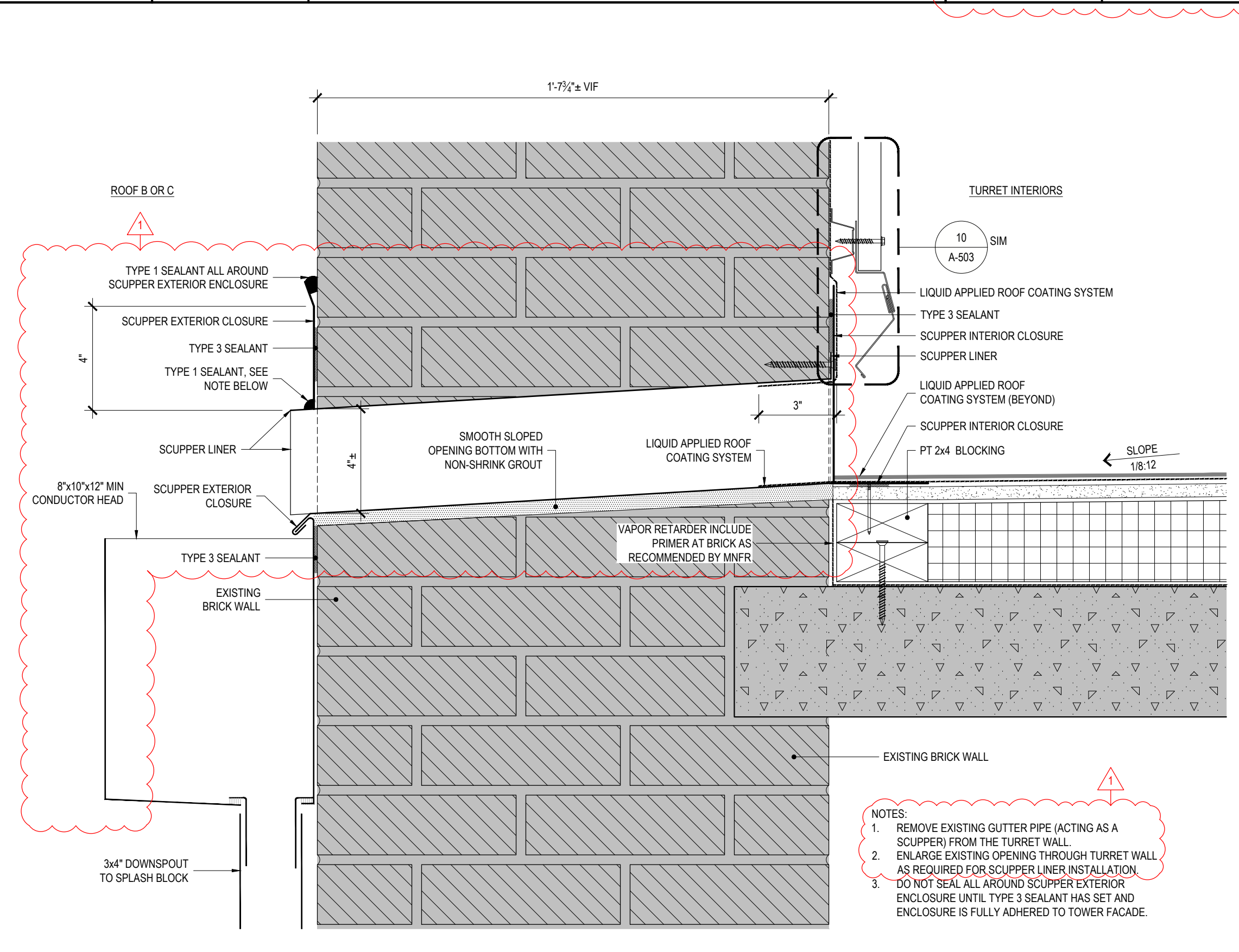


**B PHOTO SCALE: NTS**

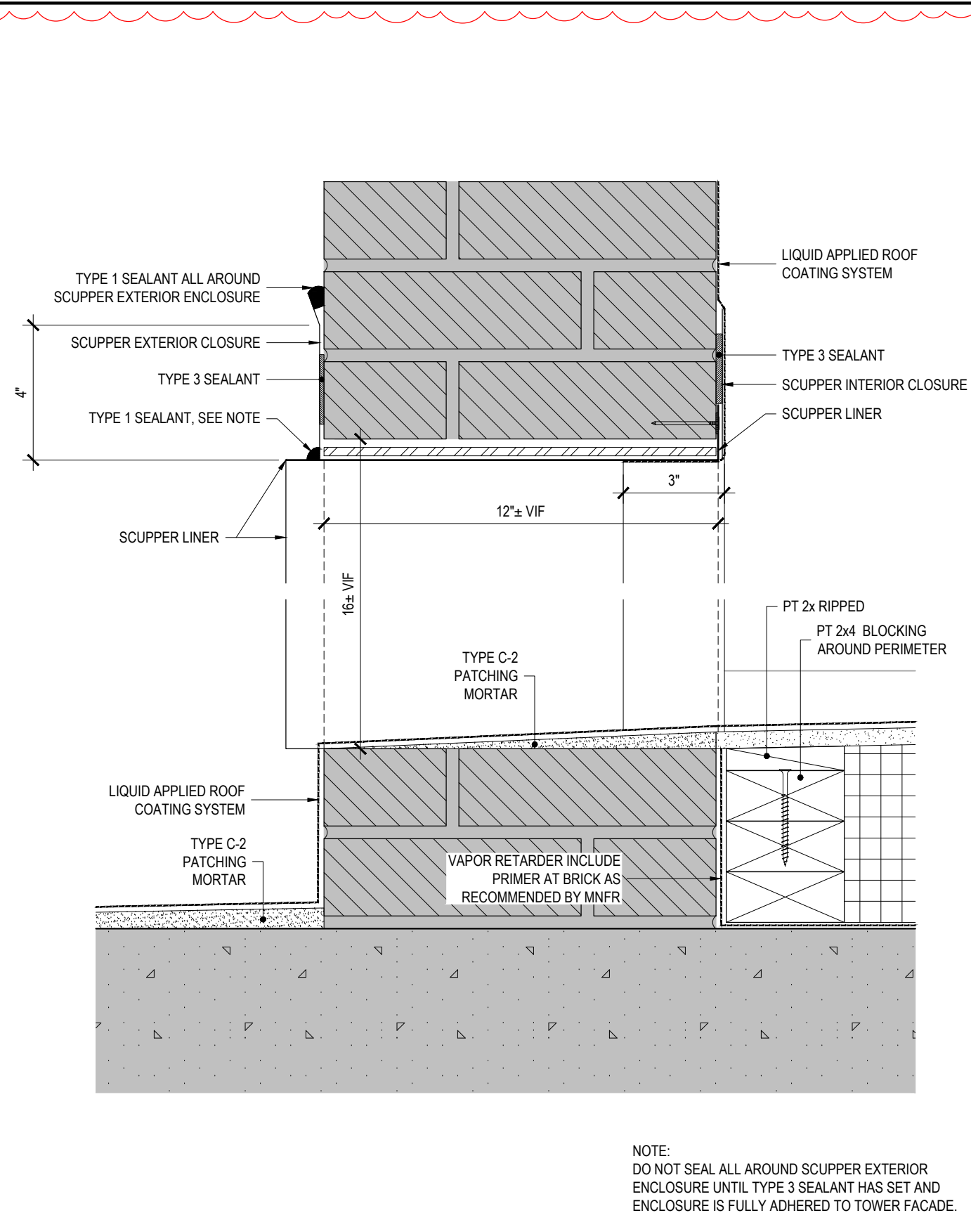
**6 PARAPET JOG FLASHING**  
REF: SCALE: NTS



**1 ROOF AREA C.2 SCUPPER DETAIL**  
REF: 1/A-102 SCALE: 3" = 1'-0"



**2 ROOF AREA A TURRET SCUPPER DETAIL**  
REF: 3/A-101 SCALE: 3" = 1'-0"



**3 SMALL TURRET SCUPPER DETAIL**  
REF: 4/A-506 SCALE: 3" = 1'-0"

**ALTERNATE No. 1**

- NOTES:**
- REMOVE EXISTING GUTTER PIPE (ACTING AS A SCUPPER) FROM THE TURRET WALL.
  - ENLARGE EXISTING OPENING THROUGH TURRET WALL AS REQUIRED FOR SCUPPER LINER INSTALLATION. DO NOT SEAL ALL AROUND SCUPPER EXTERIOR ENCLOSURE UNTIL TYPE 3 SEALANT HAS SET AND ENCLOSURE IS FULLY ADHERED TO TOWER FACADE.

NOTE: DO NOT SEAL ALL AROUND SCUPPER EXTERIOR ENCLOSURE UNTIL TYPE 3 SEALANT HAS SET AND ENCLOSURE IS FULLY ADHERED TO TOWER FACADE.

36x24 PLOT SHEET